



CITY OF KIRKLAND
Planning and Community Development Department
123 Fifth Avenue, Kirkland, WA 98033 425.587-3225
www.ci.kirkland.wa.us

MEMORANDUM

To: David Ramsay, City Manager

From: Eric Shields, Planning Director
Tony Leavitt, Associate Planner

Date: September 24, 2009

Subject: STAFF PRESENTATION REGARDING PSE JUANITA SUBSTATION
PROJECT, PCD FILE NO. ZON08-00010

RECOMMENDATION

It is recommended that the City Council review this memo and enclosures regarding construction activities at the Puget Sound Energy Juanita Substation site located at 10910 NE 132nd Street. This memo is in response to Mr. Michael Heslop's presentation at the September 15, 2009 City Council Meeting. Staff will provide a presentation to the City Council and respond to questions during the October 6th City Council Meeting. Additionally, Jim Hutchinson, Puget Sound Energy's Government & Community Relations Manager, will be present to address questions.

BACKGROUND DISCUSSION

In May of 2008, Puget Sound Energy (PSE) applied for Process IIA Zoning Permit and a Variance Permit to expand and rebuild the existing PSE Juanita electric distribution substation on their property. The proposal included the relocation of the existing substation from the south end of the property, near NE 128th Street, to the north end of the property, near NE 132nd Street. In order to accommodate the proposed substation, the applicant requested a variance to reduce the required east and west side yard setbacks from the required 20 feet to 13 feet, reduce the required east and west landscape buffers from 15 feet to 13 feet, and exceed the maximum allowable height of 30 feet by 5 feet to accommodate two termination structures on the north and south ends of the facility (see Enclosure 1).

A public hearing was held for the project by the Hearing Examiner on December 4, 2008. On December 12, 2008, after considering all of the information, testimony and comments submitted on the matter, the Hearing Examiner approved the application for a zoning and variance permit.

One timely appeal of the Hearing Examiner decision was filed. Steve Ryan, a Party of Record and adjoining property owner, filed an appeal on December 30, 2008 and

contended that the variance application did not meet the variance approval criteria of KZC Section 120.20.

At the February 3, 2009 City Council Meeting, the appeal of the Hearing Examiner's Approval of the PSE Juanita Substation Variance Permit was brought before the City Council for their consideration. At this meeting the Council heard from Staff, Mr. Michael Spence (the appellant's representative), and Mr. Robert Heller (the applicant's representative). After hearing from the parties, Council approved a motion for Staff to return to the February 17th Meeting with a resolution to modify the Hearing Examiner's Approval by requiring additional landscaping within the required landscape buffers. At the February 17, 2009 City Council approved Resolution 4744 affirming and modifying the Hearing Examiner's Decision to approve variances for the project.

Per KZC Section 150.130, the action of the City in granting the variance application under Chapter 150 could be appealed to King County Superior Court. The land use petition is required to be filed within 21 calendar days of the issuance of the final land use decision by the City, which would have been March 10, 2009. No land use petitions were filed in response to the City Council's approval of the project.

On June 24, 2009 the City issued a grading permit for the project and on July 9th the City issued a building permit for the installation of the durisol sound walls. The grading work for the project began on July 8th after the installation of the required tree fencing and erosion controls measures.

Since the start of construction, staff has received numerous emails and phone calls from Mr. Heslop that were directed towards City staff and/or PSE staff. Staff has also received written complaints from two other neighbors. In each instance, staff promptly investigated the complaints to determine if there were violations that needed to be corrected. Throughout the project, we believe that we have reviewed and addressed the issues in a timely manner and, when appropriate, passed on the correspondence to a City Inspector or Code Enforcement Officer for further investigation. To date, none of the complaints have resulted in any Notices of Violations for the project. Additionally, PSE staff has worked closely with City Staff to keep us up to date on issues that were civil matters between PSE and the neighbors.

The following sections respond more specifically to each of Mr. Heslop's points made during his September 15th presentation to the City Council.

RESPONSE TO MR. HESLOP'S PRESENTATION

On September 1st, Mr. Heslop spoke during the City Council Meeting's "Items from the Audience" portion of the meeting. At the September 15th City Council, Mr. Heslop requested the opportunity to make a PowerPoint presentation during the "Items from the Audience" portion of the meeting. After the meeting, Staff received a copy of his presentation (see Enclosure 2). In the following sections staff will address each City related issue raised in Mr. Heslop's presentation. It should be noted that some of these

items are civil issues between PSE and the neighboring properties owners. PSE addresses Mr. Helsop's issues, including the damage claims, in Enclosure 5.

Slide 1

Mr. Heslop contends that the Council was "misled" about the overall height of the wall, that the wall does not meet the approved plans, and the impacts of sun blockage.

Staff Response:

- The plans provided during the zoning permit approval process and to the City Council on February 3rd accurately depict the project that is being constructed. Pages 5 and 6 of Enclosure 1 clearly show that fill was occurring on the site, as the elevation drawings represent the views from the east and west property lines.
- Page 9 of Enclosure 1 accurately shows the I-beams extending 5 feet above the 18 foot high walls. A note on the plans indicates these I-beam are needed to accommodate electrical insulators.
- The City does not have any regulations in this zone regarding sunlight blockage. The Hearing Examiner did conclude that the proposed substation would be less impactful than a structure that could be built without variances, which would be 30 feet tall with a 20 foot setback.

Slides 2 and 3

Mr. Heslop provides pictures of the sound wall during its construction.

Staff Response:

The picture shows the sound wall as approved during the zoning permit process. It should be noted that the applicant has not yet installed the required landscaping (see Page 2 of Enclosure 1), which will be:

- 1 tree per 10 linear feet of land use buffer (compared to the standard 1 tree per 20 linear feet) with deciduous trees of two and one-half inch caliper, minimum, and/or coniferous trees eight feet in height, minimum, and at least 80% of the trees shall be evergreen (compared to the standard 70%).
- Large shrubs or a mix of shrubs planted to attain coverage of at least 60 percent of the land use buffer area within two years.

Slide 4

Mr. Heslop contends that the project has created excessive noise, violent vibrations due to compaction work, and makes being at home unbearable.

Staff Response:

- KZC Section 115.25.1 allows development activity between the hours of 7am and 8pm, Monday thru Friday, and from 9am to 6pm on Saturdays. No work is allowed to occur on Sunday. We have received one formal complaint from a neighbor for work between the hours of 7am and 8am. Staff contacted the complainant and let them know that the work was not in violation.

- On July 13th, Staff received a phone call from Mr. Heslop regarding construction related vibration from the PSE project. Staff investigated and found that PSE was using a vibrating roller compactor to compact the soils to required tolerances for the substation. Staff from Fire and Building, Public Works, and Planning reviewed existing City codes and found no regulations regarding vibration during construction activity. Mr. Heslop was contacted with these findings and PSE was advised of the issue.
- The use of bulldozers, dump trucks, cranes, and lifts is normal construction related activity that the City does not regulate during normal work hours.
- On July 13th, Staff received a phone call from Mr. Heslop regarding construction related dust. On July 15th, Tim Gunter investigated Mr. Heslop's complaint and recommended that the contractor increase onsite watering to minimize dust. On July 17th, Mr. Heslop sent an email to Tim Gunter stating that "after my first email they started watering more frequently and dust has been less of an issue".
- The use of cranes and lifts is normal construction related activity that the City does not regulate.

Slide 5

Mr. Heslop states that there is no privacy during the construction, that a privacy fence has not been installed, and that workers have been impactful.

Staff Response:

- Staff has directed neighbors to contact the Police Department if workers are trespassing onto their property.
- The use of lifts and other equipment by workers is normal construction related activity that the City does not regulate during normal work hours.
- The Kirkland Zoning Code does not require that a privacy fence be installed along the neighbors' property lines. The proposed sound walls and required landscape buffering meet the screening requirements of Kirkland Zoning Code Section 95.40.4.
- The City codes do not regulate worker behavior during construction projects. However, the City has discussed the sensitive nature of this project in a residential neighborhood with PSE to suggest proper oversight by PSE.

Slides 6 thru 9

Mr. Heslop alleges that there has been damage to private property as a result of the construction activities.

Staff Response:

Any potential damage to properties due to construction activities is a civil matter between the neighbors and PSE. PSE states in their response letter that they are in communication with several neighbors over alleged damages

and that claims have been submitted to PSE. They are currently working with these homeowners to determine the cause of damage.

Slides 10 and 11

Mr. Heslop claims that the City has given preferential treatment to PSE by allowing removal of protective tree fencing, allowing work after hours, allowing PSE to submit its own reports, and that Staff is doing the minimal job possible. On Slide 11, he provides pictures of activities on the site.

Staff Response:

- Tree protective fencing was required of PSE the same as any other applicant. As the project progressed, the applicant needed to remove fencing installed around the drip lines of neighboring trees in order to establish final grading and backfill along the sound wall. Pursuant to the Kirkland Zoning Code, Staff required the applicant to submit a report from PSE's Arborist. The report was reviewed and approved by the City's Urban Forester with conditions for root protection and onsite arborist oversight (see Enclosure 3).
- Mr. Heslop contacted Staff contending that PSE was working outside of the normal work hours. Staff instructed Mr. Heslop to file a formal complaint to initiate an investigation and to contact police if work was occurring after City Hall hours. No formal complaints have been filed. Staff did contact PSE to inquire about the after hours work. PSE sent Staff an email (see Enclosure 4) explaining that workers that Mr. Heslop saw onsite were in fact working on restoring power to the area after an outage. This email was forwarded to Mr. Heslop.
- PSE submitted a report from a qualified professional that was reviewed by the City's Urban Forester per City requirements. The City does not have the authority to require an additional 3rd party review.
- Mr. Heslop contends that Staff has done the "most minimal job possible". Staff understands the challenges and impacts of constructing a large utility project in the midst of a residential neighborhood and has carefully reviewed the proposed grading and building permits and construction activity for consistency with the City Council approval of the project and compliance with the City's development regulations. Staff has been very respectful and responsive to Mr. Heslop. Since the start of the construction on the project, Staff has received over 30 emails and phone calls from Mr. Heslop that were directed towards City Staff and/or PSE Staff. City Staff has responded to all correspondence in a timely and courteous manner. Copies of all correspondence can be provided on Council's request.

Slides 12 and 13

Mr. Heslop contends that the City should have required that PSE look at an alternative site that would be less impactful on neighbors and that the substation will have a negative impact on property values.

- During the review of the zoning permit application, the Hearing Examiner, and ultimately the City Council, concluded that the project met all zoning and variance permit approval criteria.
- As part of her decision, the Hearing Examiner found no legal basis for the City to require the applicant to consider alternative sites for the proposal.
- City Staff has not given preferential treatment to PSE and has enforced all applicable regulations and requirements.

City staff understands that construction projects can be disruptive and we make every effort to ensure contractors are working within allowable hours and adhere to all relevant regulations and permit conditions. There continue to be unresolved issues between PSE and some of the property owners adjacent to the project and the City will continue to work with all parties as it pertains to the City's role in the project at this point.

ENCLOSURES

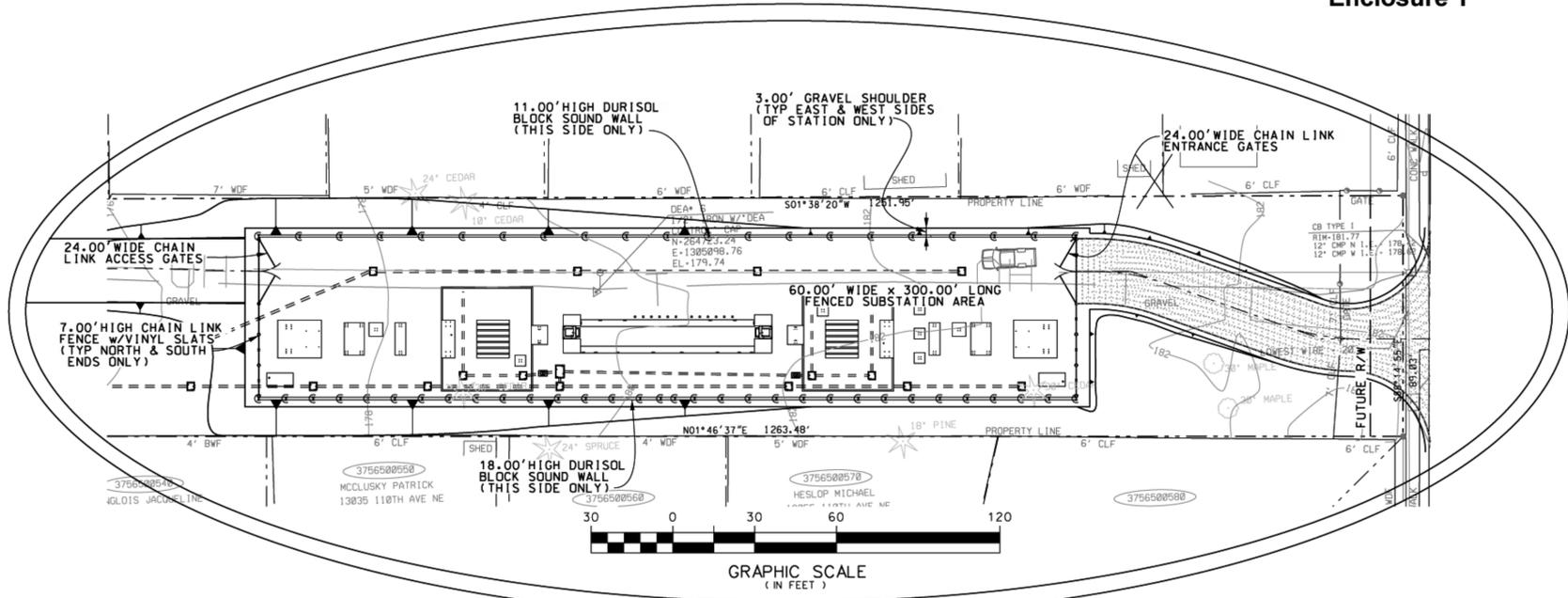
1. Approved Zoning Permit Plans
2. Michael Heslop's Power Point Presentation
3. Arborist Report from Gilles Consulting
4. Email from Randy Walls, PSE Construction Manager
5. Response Letter from Heather Brickey of Puget Sound Energy dated September 28, 2009

NOTES

- PURPOSE OF THIS SURVEY THIS BOUNDARY AND TOPOGRAPHIC SURVEY WAS PERFORMED DURING APRIL, 2007 IN SUPPORT OF A PUGET SOUND ENERGY SUBSTATION IMPROVEMENT PROJECT AND WAS INTENDED TO 1.) DETERMINE AND STAKE THE FOUR PROPERTY CORNERS, 2.) DETERMINE THE LOCATION OF PHYSICAL FEATURES ON OR NEAR SAID PROPERTY LINES AND 3.) PERFORM TOPOGRAPHIC MAPPING OF THE SUBJECT PARCEL AND ADJOINING ROADWAYS.
- BASIS OF BEARING WASHINGTON COORDINATE SYSTEM, NORTH ZONE, NAD-83/91. NOTE: DISTANCES SHOWN HEREON ARE STATE PLANE GRID DISTANCES BASED ON A COMBINED SCALE FACTOR OF 0.999999, TO CONVERT GRID DISTANCES TO GROUND VALUES, MULTIPLY DISTANCES SHOWN BY 1.000001.
- VERTICAL DATUM NAVD-88
NOTE: NGVD 29 - NAVD 88 MINUS 3.6'. SOURCE - CORPSCON FOR WINDOWS CONVERSION SOFTWARE VER 5.11.00
- METHODOLOGY FIELD MEASUREMENT FOR THIS SURVEY WERE PERFORMED USING A LEICA TCPR 1201. THIS SURVEY COMPLIES WITH THE MINIMUM REQUIRED "ERROR OF CLOSURE" OF 1:10,000 FOR WASHINGTON STATE PLANE COORDINATES AS SET FORTH PER W.A.C. 332-130-090 (AND POSITIONAL TOLERANCE LEVELS OF LESS THAN 0.011 METERS)
- PROPERTY LINES SHOWN HEREON ARE BASED ON FIELD LOCATED SURVEY MONUMENTS AND PUBLIC RECORDS. SEE SHEET 2 OF 2 FOR SECTION BREAKDOWN AND PROPERTY DETAILS.
PROPERTY CORNERS WERE STAKED IN CONJUNCTION WITH THIS SURVEY.
- MONUMENTATION VISITATION ALL SURVEY MONUMENTS AND OTHER SURVEY MARKERS SHOWN HEREON WERE VISITED DURING APRIL, 2007 UNLESS OTHERWISE INDICATED.
- ENCUMBRANCES PACIFIC NORTHWEST TITLE COMPANY OF WASHINGTON INC. TITLE ORDER NO. 651223, DATED APRIL 12, 2007 USED FOR LAND DESCRIPTION AND EASEMENTS OF RECORD. NO FURTHER SEARCH INTO THE RECORD WAS REQUESTED OR PERFORMED. NOTE: SAID TITLE REPORT REVEALED SEVERAL SLOPE EASEMENTS THAT CONTAINED DESCRIPTIONS THAT WERE INSUFFICIENT TO DETERMINE THE LOCATION OF SAID EASEMENTS. OTHER ENCUMBRANCES LISTED IN SAID TITLE REPORT RELATE TO TAXES AND MORTGAGE TERMS AND CONDITIONS, NONE OF WHICH PERTAIN TO MATTERS DISCLOSED BY THIS SURVEY.
- UNDERGROUND UTILITIES SHOWN REPRESENT FIELD SURVEYED PAINT MARKS AS PLACED ON THE GROUND BY A UTILITY LOCATE SERVICE. NO GUARANTEE IS MADE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED OR THAT THE UNDERGROUND UTILITIES ARE SHOWN IN THEIR EXACT LOCATION. THE UTILITIES ARE SHOWN AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION.
- CONTOUR INTERVAL 2 FOOT
- SUBSURFACE CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS PART OF THIS SURVEY.
- LOCATIONS OF HOUSES SHOWN HEREON WERE DERIVED FROM AERIAL PHOTOGRAMMETRY AND ARE RELIABLE TO PLUS OR MINUS 5 FEET.
- 1-800-424-6555 MUST BE CALLED NOT LESS THAN 48 HOURS BEFORE BEGINNING EXCAVATION WHERE ANY UNDERGROUND UTILITIES MAY BE LOCATED. FAILURE TO DO SO COULD MEAN BEARING SUBSTANTIAL REPAIR COSTS. (UP TO THREE TIMES THE COST OF REPAIRS TO THE SERVICE).

LEGAL DESCRIPTION

PER PACIFIC NORTHWEST TITLE COMPANY OF WASHINGTON INC., TITLE ORDER NO. 651223, DATED APRIL 12, 2007
THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 26 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON
EXCEPT THE WEST QUARTER
EXCEPT THE EAST 900 FEET THEREOF
EXCEPT THE NORTH 30 FEET THEREOF CONVEYED TO KING COUNTY FOR NORTHEAST 132ND STREET BY RECORDING NUMBER 21256999
AND ALSO EXCEPT THE SOUTH 30 FEET THEREOF CONVEYED TO KING COUNTY FOR NORTHEAST 128TH STREET BY RECORDING NUMBER 5554777.
ADDRESS:
10910 NE 132nd St.
KIRKLAND, WA.



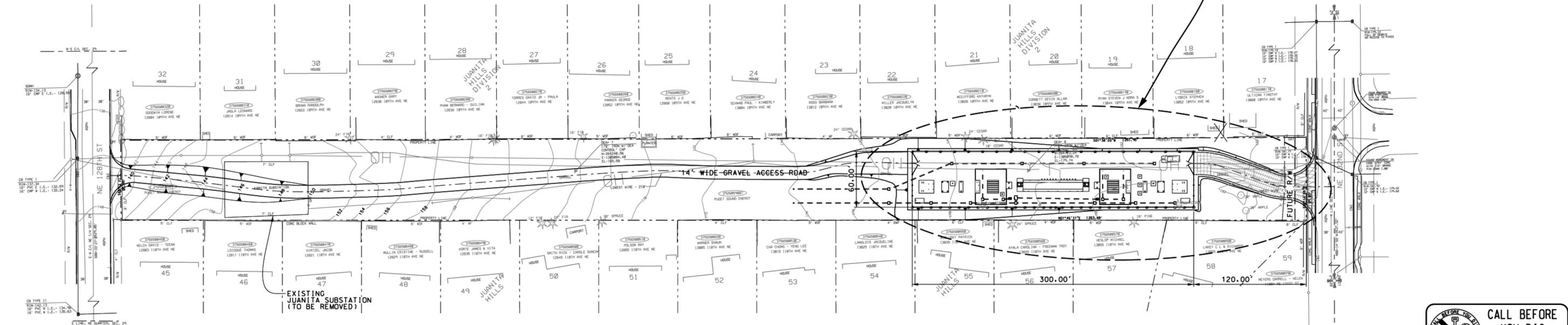
BENCH MARKS

- PROJECT BM POINT DESIGNATION DEA *3803 A COPPER PIN IN SQUARE CONCRETE MONUMENT LOCATED AT SOUTH QUARTER CORNER 29 AND AS SHOWN HEREON - ELEV - 256.528 FEET (NAVD 88)
 - TEMPORARY SITE BM'S POINT DESIGNATION DEA *6 A 1/2" IRON WITH "DEA CONTROL" CAP AND AS SHOWN HEREON - ELEV - 179.74 FEET (NAVD 88)
- POINT DESIGNATION DEA *7 A 1/2" IRON WITH "DEA CONTROL" CAP AND AS SHOWN HEREON - ELEV - 165.58 FEET (NAVD 88)

NW 1/4, NE 1/4, SEC. 29, TWP 26N., RNG. 5E., W.M.

STATION DETAIL

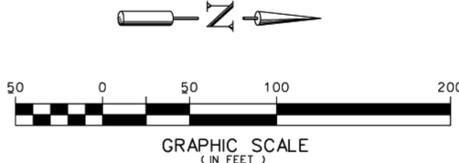
SCALE: 1"=30'



PRELIMINARY ONLY
NOT FOR CONSTRUCTION

TOPOG LEGEND

- SECTION LINE
- QUARTER SECTION LINE
- EXISTING RIGHT-OF-WAY LINE
- PROPERTY LINE
- FENCE LINE (TYPE AS NOTED)
- UTILITY POLE
- WATER VALVE
- WATER METER
- CATCH BASIN
- STORM DRAIN MANHOLE
- TELEPHONE MANHOLE
- TELEPHONE VAULT
- CONIFEROUS TREE
- DECIDUOUS TREE
- SHRUB
- SET REBAR AND CAP "DEA 38017"
- KING COUNTY TAX PARCEL NUMBER



REFERENCE DRAWINGS:

- D-14342 EROSION AND SEDIMENT CONTROL PLAN
- D-14343 GRADING AND FENCING PLAN
- D-14344 DRAINAGE PLAN
- D-14345 FOUNDATION PLAN
- D-14346 LANDSCAPE PLAN
- D-14347 STRUCTURAL PLAN (REF ONLY)

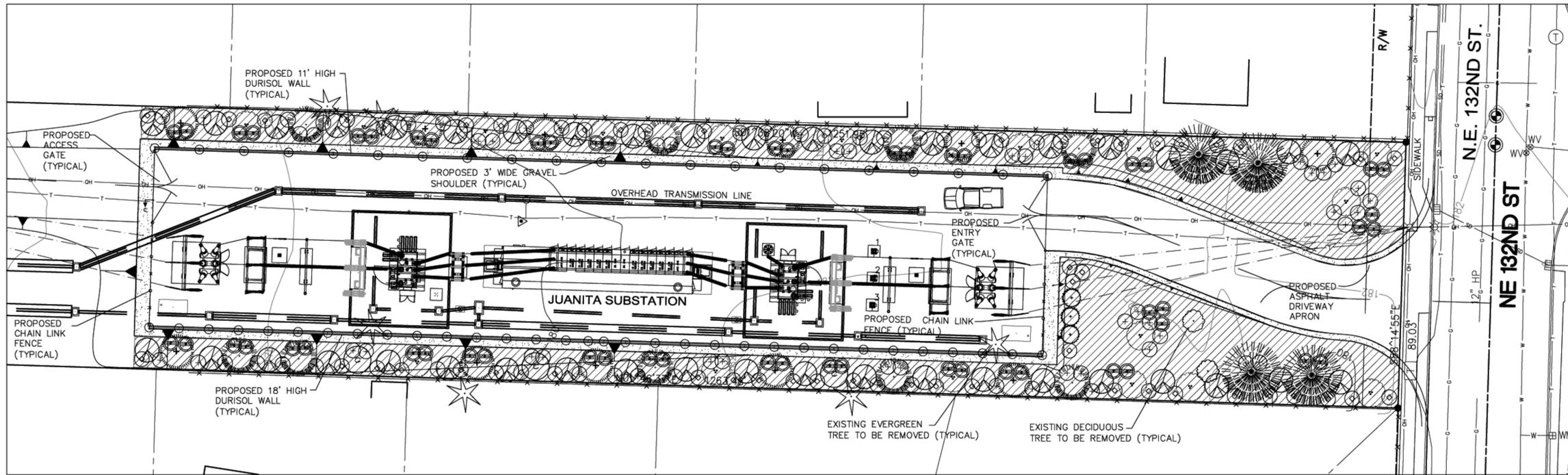


PSE ENGINEERING CONTACTS		
355 NE 110TH AVE NE, BELLEVUE WA, 98009-0868		
GROUP	NAME	PHONE
PROJECT MANAGEMENT	R. BAMBA	425-462-3774
CIVIL	J. RORABACHER	425-456-2446
ELECTRICAL	J. NEDRUD	425-462-3818
CONSTRUCTION MANAGEMENT	D. MOHN	425-456-2830
PERMITTING	A. MARKOS	253-476-6295



REVISION DESCRIPTION:		
ISSUED FOR PERMITTING		
CADD	APPROVAL	DATE (M/D/Y)
	M TURNER	4 / 30 / 08
CIVIL ENGR		/ /
REVIEW		/ /

SITE PLAN			
JUANITA SUBSTATION			
PUGET SOUND ENERGY		STATION ENGINEERING DEPARTMENT	DRAWING NO
SCALE: 1"=50'-0"		CLASS: SITE	D-14341
CADD NO: ... \DI 434101 SITE.DGN		SHEET 1 OF 1	REV NO 0
		FILE NO	



SYMBOL	BOTANICAL NAME	COMMON NAME	QNTY	SIZE	REMARKS
TREES					
(Symbol)	ACER CIRCINATUM	VINE MAPLE	17	5'-6" HT.	B&B MULTI-STEMMED
(Symbol)	CALOCEDRUS DECURRENS	INCENSE CEDAR	11	6'-8" HT	B&B, SPACED PER PLAN
(Symbol)	PINUS NIGRA	AUSTRIAN BLACK PINE	4	6'-8" HT	B&B, WELL-BRANCHED FROM ROOT CROWN TO TOP
(Symbol)	THUJA PLICATA 'ATROVIRENS'	WESTERN RED CEDAR	9	6'-8" HT	B & B, SPACED PER PLAN
(Symbol)	RHAMNUS PURSHIANA	CASCARA	3	6'-8" HT	B&B, WELL-BRANCHED FROM ROOT CROWN TO TOP
(Symbol)	THUJA OCCIDENTALIS 'FASTIGIATA'	AMERICAN ARBORVITAE	3	6'-8" HT	B&B, SPACED PER PLAN
SHRUBS					
(Symbol)	AMELANCHIER ANIFOLIA	SERVICEBERRY	42	5 GAL.	CONTAINER, FULL, WELL BRANCHED, SPACED PER PLAN
(Symbol)	MYRICA CALIFORNICA	PACIFIC WAX MYRTLE	54	5 GAL.	CONTAINER, FULL, WELL BRANCHED, SPACED PER PLAN
(Symbol)	MAHONIA AQUIFOLIUM	TALL OREGON GRAPE	60	5 GAL.	CONTAINER, FULL, WELL BRANCHED, SPACED PER PLAN
(Symbol)	SYMPHORICARPOS ALBUS	SNOWBERRY	70	5 GAL.	CONTAINER, FULL, WELL BRANCHED, SPACED PER PLAN
SURFACE MATERIALS					
(Symbol)	MEDIUM BARK MULCH	MEDIUM BARK MULCH	125 CY		3" DEPTH - CONTRACTOR TO VERIFY QUANTITY

LANDSCAPE NOTES

GENERAL

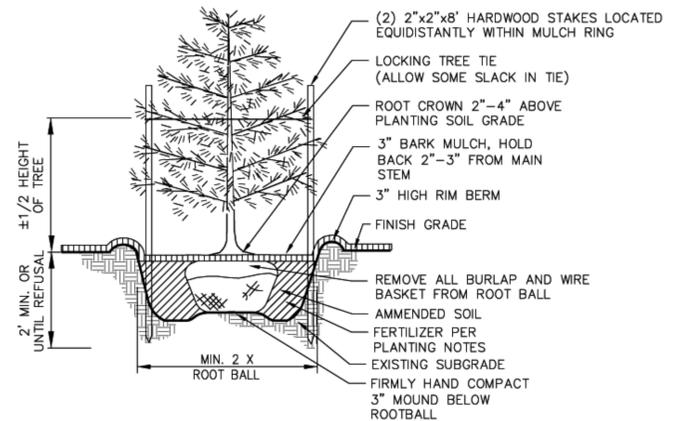
- ALL WORK SHALL BE DONE AS SHOWN IN THE DRAWINGS AND IN CONFORMANCE WITH THE PUGET SOUND ENERGY (PSE) PROJECT GENERAL PROVISIONS AND SPECIFICATIONS FOR THIS PROJECT. THE DRAWINGS SHALL TAKE PRECEDENCE OVER THE SPECIFICATIONS SHOULD THERE BE ANY CONFLICT.
- SITE BASE INFORMATION PROVIDED BY BOUNDARY AND TOPOGRAPHIC SURVEY, JUANITA SUBSTATION, (DAVID EVANS AND ASSOCIATES, INC. (DEA)), MAY 8, 2007.

SITE PREPARATION

- CLEAR AND GRUB EXISTING VEGETATION IN AREAS TO BE PLANTED.

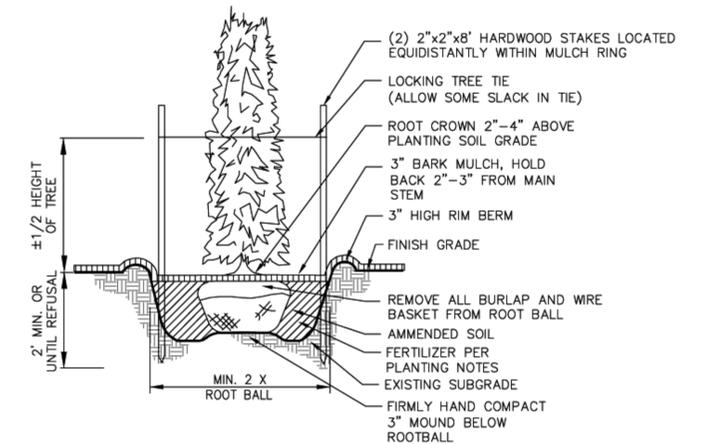
PLANTING

- ALL TREES, SHRUBS AND SEEDING SHALL BE INSTALLED PER THE LANDSCAPE PLAN AND AS SHOWN IN THE PLANTING DETAILS.
- PLANTING BED SHALL BE AMENDED WITH 4" CEDAR GROVE 2-WAY TOPSOIL (OR APPROVED EQUIVALENT) ROTOTILLED INTO 12" OF EXISTING SOIL.
- PLANT PIT BACKFILL SHALL BE CEDAR GROVE 2-WAY TOPSOIL (OR APPROVED EQUIVALENT)
- IMMEDIATELY AFTER PLANTING, PLACE MEDIUM BARK MULCH TO A UNIFORM 3" DEPTH THROUGHOUT PLANTING AREAS.
- CONTRACTOR SHALL APPLY TIME RELEASE FERTILIZER TO PLANT PITS (OSMOCOTE TM OR APPROVED EQUIVALENT) PER MANUFACTURER'S INSTRUCTIONS.
- AFTER INSTALLATION APPLY SNAPSHOT PRE-EMERGENT HERBICIDE (OR APPROVED EQUIVALENT) FOR WEED CONTROL PER MANUFACTURER'S RECOMMENDATIONS.
- ALL PLANT MATERIALS SHALL BE IRRIGATED BY THE CONTRACTOR THOROUGHLY WHEN PLANTED AND UP TO FINAL ACCEPTANCE. PLANTING AREAS SHALL RECEIVE 1" OF WATER PER WEEK DURING MAY 15-OCTOBER 15 EXCLUDING MAJOR STORM EVENTS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR IRRIGATION DURING THE WARRANTY PERIOD.
- PERMANENT IRRIGATION SYSTEM SHALL BE INSTALLED PER THE IRRIGATION PLAN AND MAINTAINED BY THE CONTRACTOR DURING THE WARRANTY PERIOD.



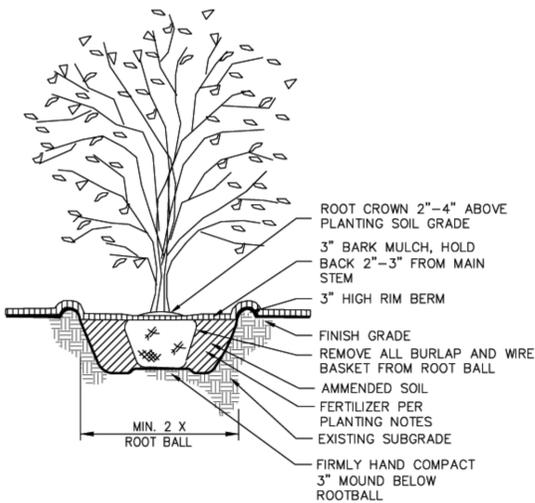
ORNAMENTAL EVERGREEN TREE PLANTING

NOT TO SCALE



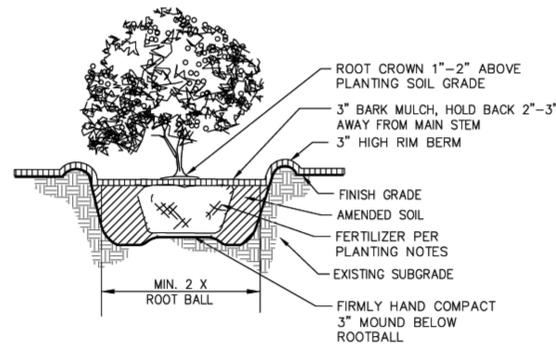
COLUMNAR EVERGREEN TREE PLANTING

NOT TO SCALE



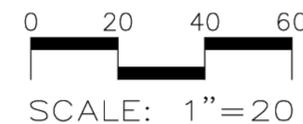
DECIDUOUS MULTI-STEM TREE PLANTING

NOT TO SCALE



SHRUB PLANTING

NOT TO SCALE



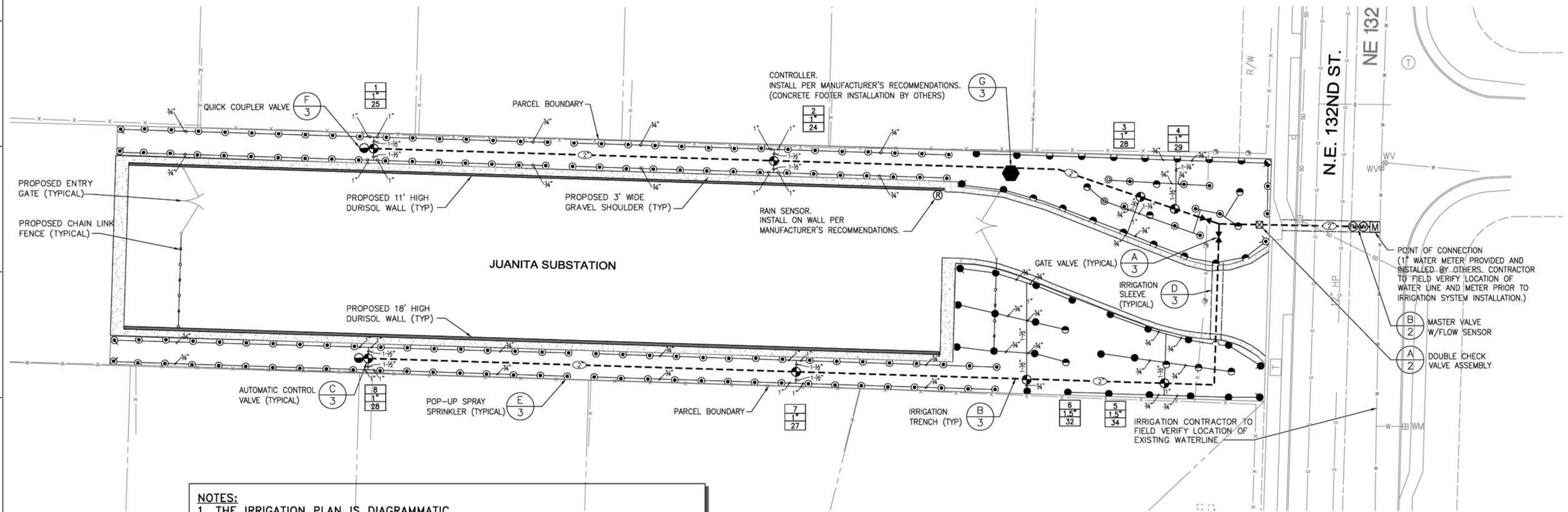
SCALE: 1" = 20'



DAVID EVANS AND ASSOCIATES INC.
415 - 118th Avenue SE
Bellevue Washington 98005-3518
Phone: 425.519.6500

PRELIMINARY- NOT FOR CONSTRUCTION

REVISION DESCRIPTION:		APPROVAL		DATE (M/D/Y)	JUANITA SUBSTATION LANDSCAPE PLAN	
ORIGINAL ISSUE		GBK		5 / 18 / 08		
CADD		JCGA		5 / 18 / 08		
LAND ARCH						
REVIEW						
LOG OUT						
					SUBSTATION ENGINEERING DEPARTMENT DRAWING NO. D-14346 SHEET 1 OF 5	REV NO. 1 FILE NO.
SCALE: 1" = 20'-0"				CLASS: SITE	CADD NO: D 14346 01 - L1.DWG	



NOTES:
 1. THE IRRIGATION PLAN IS DIAGRAMMATIC.
 2. SEE SHEET 3 FOR IRRIGATION NOTES AND DETAILS. INSTALL MAINLINE, VALVES, PIPE, AND ASSOCIATED EQUIPMENT IN PLANTER BEDS OR GRASS AREAS.

IRRIGATION EQUIPMENT LEGEND

- ⊙ RAIN BIRD FS-200-B FLOW SENSOR
- ⊙ RAIN BIRD MASTER VALVE PEB SERIES
- ⊙ GATE VALVE
- ⊙ RAIN BIRD AUTOMATIC CONTROL VALVE PEB SERIES
- ⊙ RAIN BIRD QUICK COUPLING VALVE #44LRC
- ⊙ RAIN BIRD RAIN SENSOR RSD-CEX
- ⊙ DCVA ASSEMBLY
- ⊙ WATER METER (SUPPLIED AND INSTALLED BY OTHERS)
- ⊙ RAIN BIRD ESP-LX MODULAR OUTDOOR 12-STATION ELECTRONIC CONTROLLER (INSTALL IN VYNKIER POLYSAFE MODEL PS3020A ENCLOSURE. CONCRETE FOOTER FOR PEDESTAL BY OTHERS)

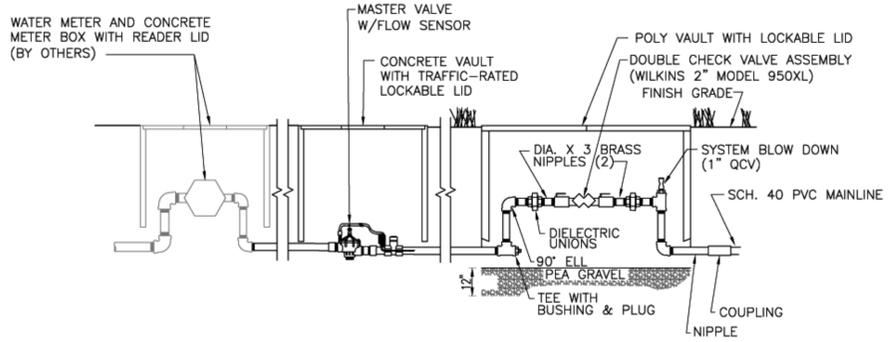
VALVE LEGEND

1	STATION NUMBER
1	VALVE SIZE
8	GALLONS PER MINUTE

- SCHEDULE 40 PVC MAINLINE (SIZED AS SHOWN ON PLANS) (MINIMUM 18" BURY)
- SCHEDULE 40 PVC LATERAL (1" SIZE UNLESS SHOWN OTHERWISE ON PLANS)
- SCHEDULE 40 PVC SLEEVES (SIZED AT DOUBLE WORKING PIPE DIAMETER)

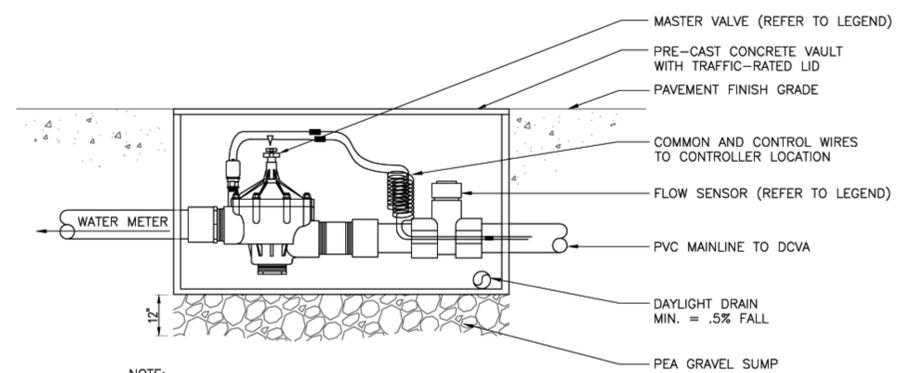
IRRIGATION EQUIPMENT LEGEND

Q	T	H	F	NOZ.	MANF.	MODEL NO.	RAD.	PATTERN	PSI	FLOW
⊙	⊙	⊙	⊙	8'	RAINBIRD	1806-SAM-PRS	8'	QTR, THRD, HLF, FULL	30	.26 .35 .52 1.05 VAR
⊙	⊙	⊙	⊙	10'	RAINBIRD	1806-SAM-PRS	10'	QTR, THRD, HLF, FULL	30	.39 .53 .79 1.58 VAR
⊙	⊙	⊙	⊙	12'	RAINBIRD	1806-SAM-PRS	12'	QTR, THRD, HLF, FULL	30	.65 .87 1.3 2.60 VAR



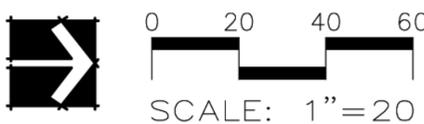
NOTE:
 1. ALL FITTINGS AND NIPPLES FROM METER THROUGH FLOW SENSOR (SEE DETAIL B, THIS SHEET) SHALL BE SCH. 80 PVC OR BRASS; SIZE AND LENGTH AS REQUIRED OR AS NOTED.

A DOUBLE CHECK VALVE ASSEMBLY
 NOT TO SCALE



NOTE:
 1. ALL FITTINGS AND NIPPLES FROM METER THROUGH FLOW SENSOR SHALL BE SCH. 80 PVC OR BRASS; SIZE AND LENGTH AS REQUIRED OR AS NOTED.

B MASTER VALVE WITH FLOW SENSOR
 NOT TO SCALE



DAVID EVANS AND ASSOCIATES INC.
 415 - 118th Avenue SE
 Bellevue Washington 98005-3518
 Phone: 425.519.6500

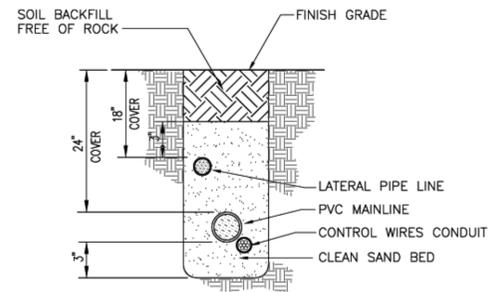
PRELIMINARY - NOT FOR CONSTRUCTION

REVISION DESCRIPTION:		APPROVAL	DATE (M/D/Y)
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CADD		JCGA	5 / 18 / 08
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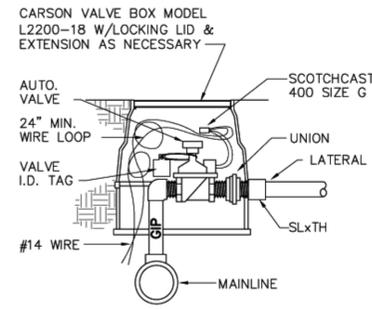
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SCALE: 1" = 20'-0"	CLASS: SITE	SCANNED	FILE NO
CADD NO: D-14346 02. IRI.DWG			

IRRIGATION NOTES

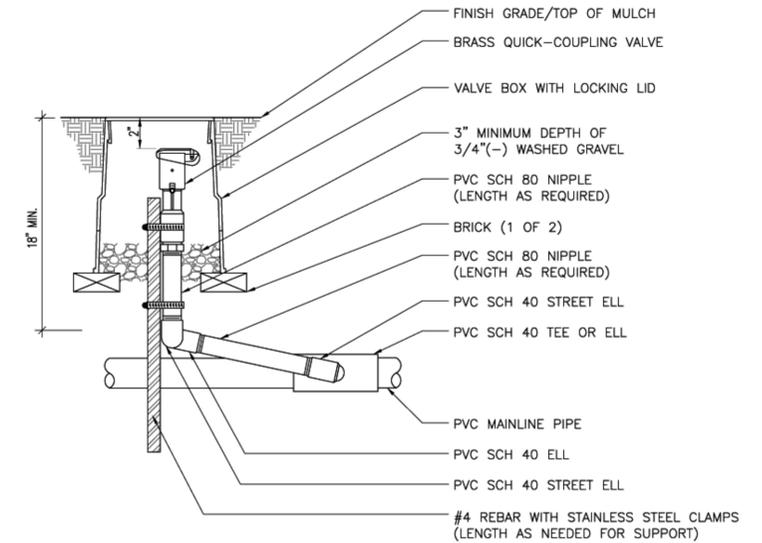
1. ALL NEW LANDSCAPE AREAS SHALL HAVE AN AUTOMATICALLY CONTROLLED IRRIGATION SYSTEM. SYSTEM SHALL BE DESIGNED TO CONSERVE WATER AND MINIMIZE OVERSPRAY ON WALKS, VEHICLES AND OTHER SURFACES. IRRIGATION SYSTEM WORK INCLUDES EXCAVATING, BACKFILLING, SUPPLYING AND INSTALLING VALVES AND FITTINGS, PIPING AND FITTINGS, QUICK COUPLER VALVES, VALVE BOXES, AND ACCESSORIES, TESTING, AND WINTERIZING AND SPRING START UP.
 2. THE IRRIGATION SYSTEM HAS BEEN DESIGNED FOR A MAXIMUM FLOW OF 35 GPM AT A STATIC PRESSURE OF 66 PSI. IF AVAILABLE PSI IS SIGNIFICANTLY LOWER THAN 66 PSI, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION FOR SYSTEM DESIGN ADJUSTMENT.
 3. THE IRRIGATION PLAN IS DIAGRAMMATIC. INSTALL MAINLINE, VALVES, PIPE, AND ASSOCIATED EQUIPMENT IN PLANTER BEDS.
 4. LOCATE ALL ABOVE AND BELOW GROUND UTILITIES AND PROTECT THEM FROM DAMAGE DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE INCURRED DURING, OR AS A RESULT OF, CONSTRUCTION OF IRRIGATION SYSTEM.
 5. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO COORDINATE INSTALLATION OF IRRIGATION SLEEVES WITH THE GENERAL CONTRACTOR.
 6. INSTALL SYSTEM TO MEET ALL APPLICABLE CODES AND INSPECTIONS AND OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
 7. INSTALL ALL MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN SPECIFICATIONS AND RECOMMENDATIONS.
 8. PROVIDE ONLY NEW MATERIALS, WITHOUT FLAWS OR DEFECTS AND OF THE HIGHEST QUALITY OF THEIR SPECIFIED CLASS AND KIND FOR COMMERCIAL USE.
- A. PVC MAINLINE AND LATERAL PIPE SHALL BE CONSTRUCTED OF SCH. 40 PVC. ALL PIPES SHALL BE PERMANENTLY PRINTED WITH STANDARD PERTINENT INFORMATION.
 - B. PVC FITTINGS SHALL BE SCHEDULE 80 RATED FOR MAINLINE AND SCHEDULE 40 RATED FOR LATERALS AND MEET ASTM D2466 STANDARDS AND SPECIFICATIONS.
 - C. PVC NIPPLES SHALL BE SCHEDULE 80 RATED AND MEET ASTM D1785 REQUIREMENTS AND SPECIFICATIONS. ALL NIPPLES WILL HAVE TAPERED THREADS.
 - D. JOINING MATERIALS USED SHALL BE MANUFACTURED BY I.P.S. OR APPROVED EQUIVALENT, AND SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS AND SAFETY RECOMMENDATIONS.
 - E. THREADED CONNECTIONS (PVC) SHALL BE SEALED WITH TEFLON TAPE OR TEFLON PASTE.
 - F. IRRIGATION SLEEVES SHALL BE SCHEDULE 40 PVC AND SIZED DOUBLE THE DIAMETER OF THE PIPE RUNNING THROUGH IT.
 - G. CONTROLLER SHALL BE RAINBIRD ESP-LX MODULAR OUTDOOR 12-STATION OR APPROVED EQUIVALENT AND CABINET-MOUNTED IN A VYNCKIER POLYSAFE MODEL PS3020A ENCLOSURE OR APPROVED EQUIVALENT AS SHOWN ON PLANS. INSTALLATION SHALL BE ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. COORDINATE LOCATION WITH OWNER.
 - H. ALL IRRIGATION WIRING TO BE "MULTISTRAND" WIRING.
 - I. INSTALL A RAINBIRD PEB-SERIES MASTER VALVE AT THE WATER METER. COORDINATE WITH OWNER.
 - J. INSTALL A RAINBIRD FLOW SENSOR, MODEL FS-200-B, FLOW SENSOR DOWNSTREAM FROM MASTER VALVE.
9. CONTRACTOR SHALL PROVIDE IRRIGATION SYSTEM RECORD DRAWINGS LEGIBLY MARKED TO RECORD ACTUAL INSTALLATION. DRAWINGS SHALL INDICATE HORIZONTAL AND VERTICAL LOCATIONS, REFERENCED TO PERMANENT SURFACE IMPROVEMENTS. IDENTIFY FIELD CHANGES OF DIMENSION AND DETAIL INCLUDING CHANGES MADE BY CHANGE ORDER. AN 11"x17" PLAN SHALL BE LAMINATED AND PLACED AT THE CONTROLLER LOCATION LEGIBLY SHOWING COLOR-CODED ZONES.
 10. CONTRACTOR SHALL REVIEW ENTIRE SYSTEM WITH OWNER'S REPRESENTATIVE AND SUPPLY OPERATIONS MANUAL AND WARRANTIES.
 11. WINTERIZATION: CONTRACTOR SHALL INSPECT SYSTEM, SHUTOFF AND DRAIN PIPE BETWEEN SHUTOFFS AND DOUBLE-CHECK VALVE AND BLOW OUT SYSTEM COMPLETELY BETWEEN OCTOBER 1 AND OCTOBER 15 DURING THE WARRANTY PERIOD FOR WINTERIZATION.
 12. SPRING STARTUP: CONTRACTOR SHALL INSPECT, PRESSURIZE SYSTEM, REPAIR LEAKS AND ANY FAULTY WORK, ADJUST AND PROGRAM CONTROLLERS AS NECESSARY BEFORE MARCH 31 FOR SPRING STARTUP.



B TRENCH DETAIL
NOT TO SCALE

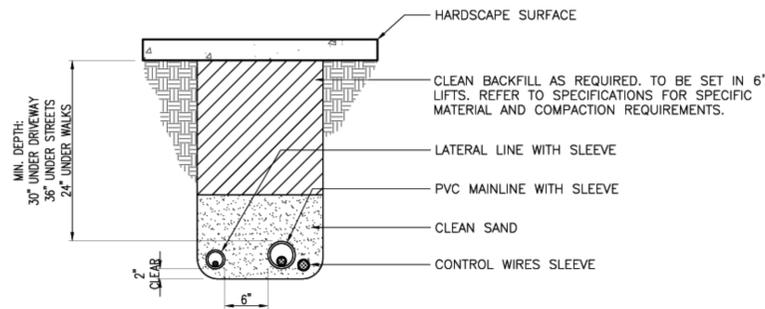


C AUTOMATIC CONTROL VALVE
NOT TO SCALE



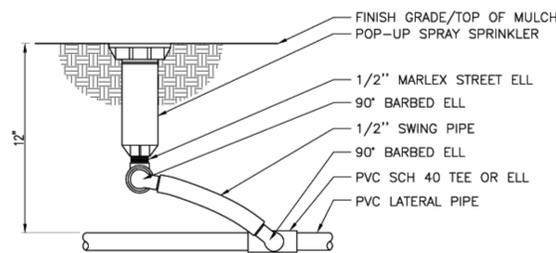
NOTE:
1. FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLER VALVE INLET SIZE.

F QUICK COUPLER VALVE
NOT TO SCALE

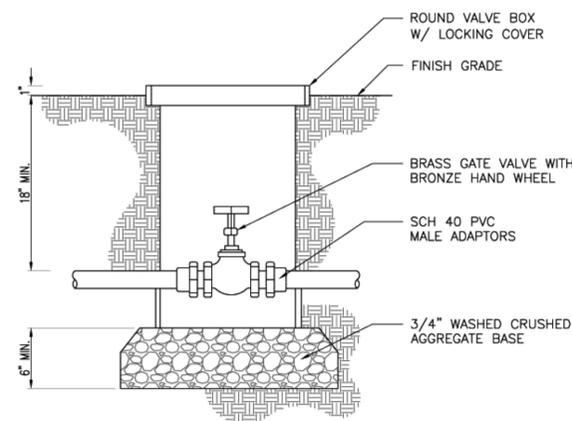


- NOTES:**
1. ALL SLEEVES TO BE PVC. SCH. 40 AND TWICE THE DIAMETER OF THE WORKING PIPE.
 2. ALL SLEEVES TO RUN A MIN. OF 12" BEYOND HARDSCAPE EDGES.
 3. CLEAN BACKFILL MAY BE SUBSTITUTED FOR SAND UNDER WALKS AND DRIVES.

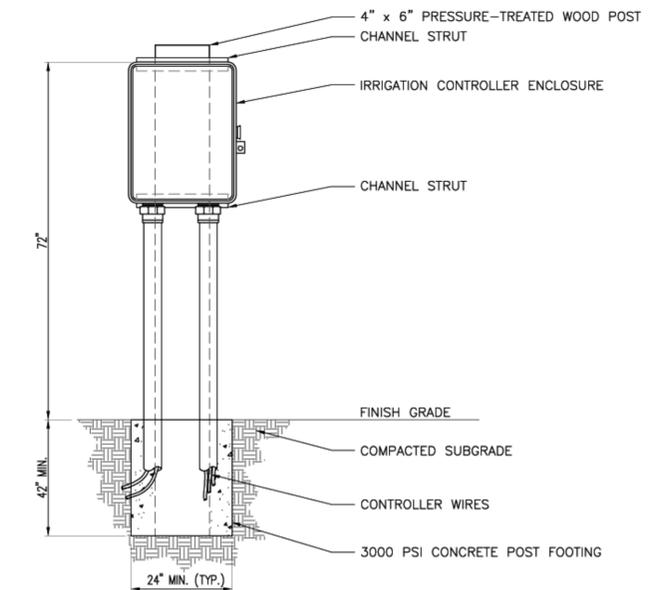
D IRRIGATION SLEEVING
NOT TO SCALE



E POP-UP SPRAY SPRINKLER
NOT TO SCALE



A GATE VALVE
NOT TO SCALE



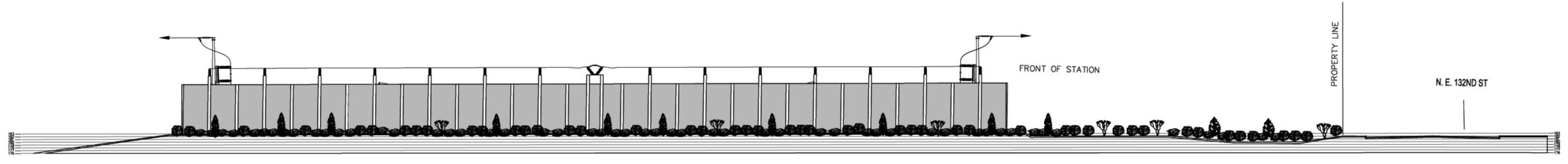
G CONTROLLER INSTALLATION
NOT TO SCALE



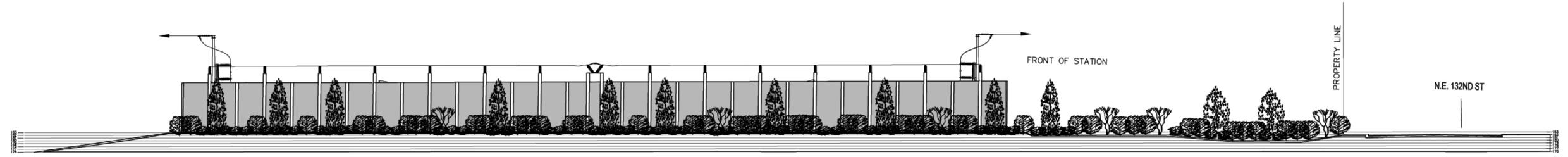
DAVID EVANS AND ASSOCIATES INC.
415 - 118th Avenue SE
Bellevue Washington 98005-3518
Phone: 425.519.6500

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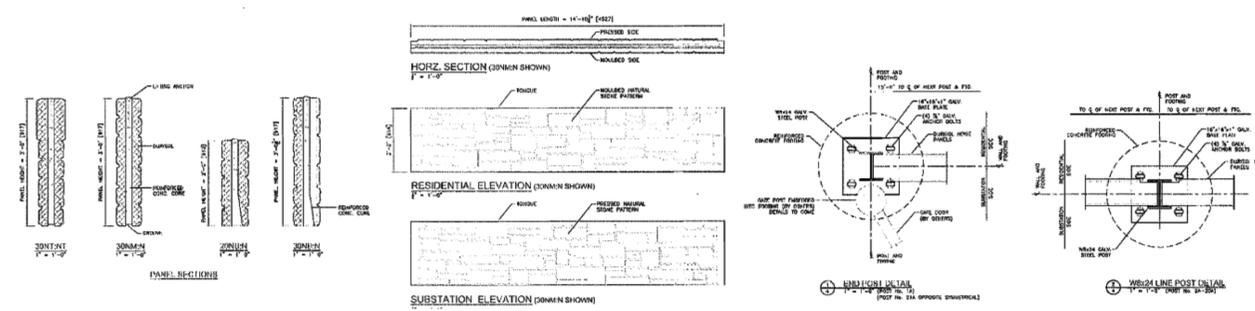
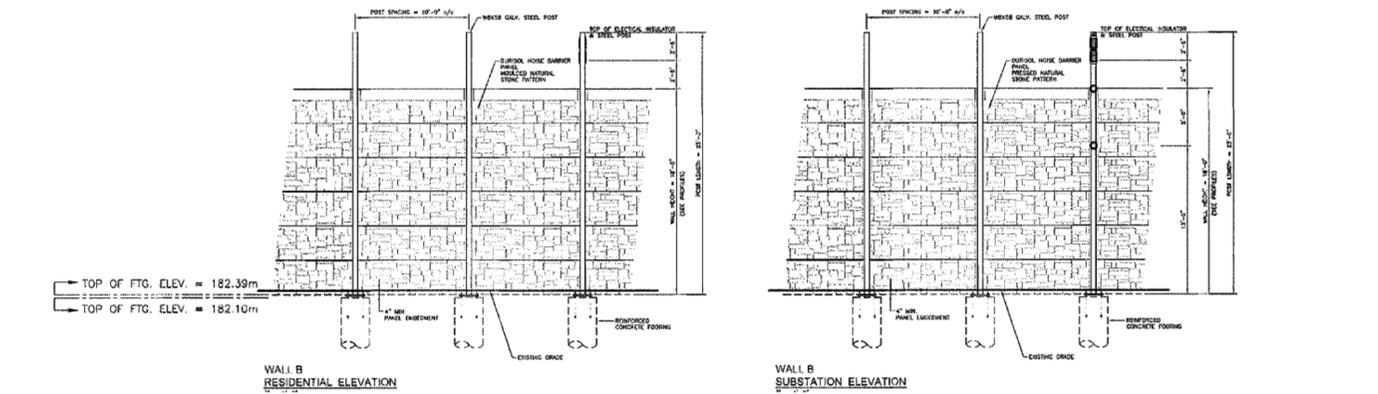
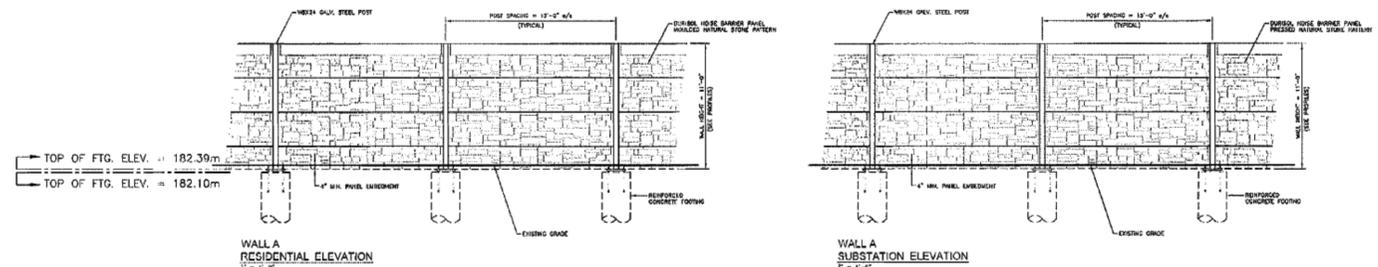
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LAND ARCH	JCGA	5 / 18 / 08			SHEET 3 OF 5	FILE NO
REVIEW					SCALE:	CLASS: SITE
LOG OUT					CADD NO: D 14346 02. IRI. DWG	SCANNED



PLANT SIZE AT INSTALLATION
EAST ELEVATION



PLANT SIZE AT 10 YEARS GROWTH
EAST ELEVATION

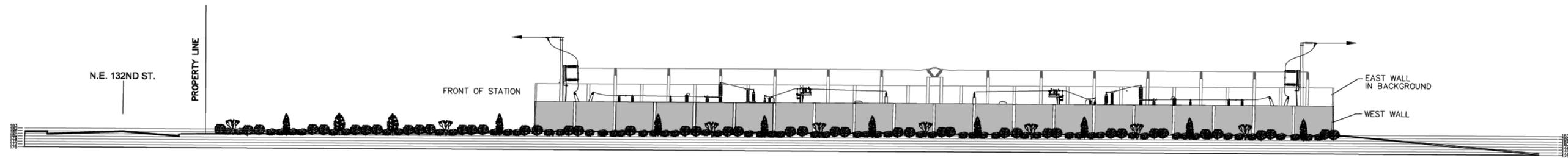


ELEVATION &
TYPICAL DETAILS

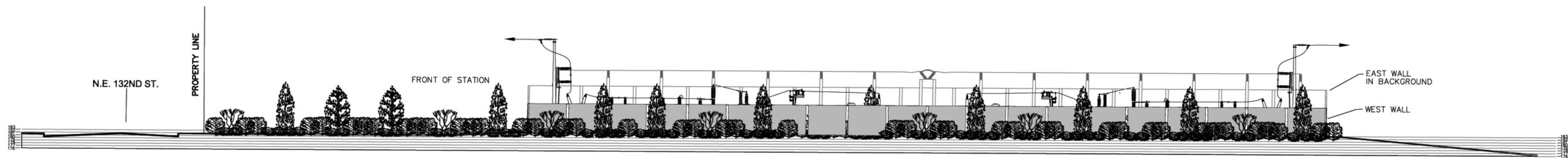


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REVISION DESCRIPTION:			JUANITA SUBSTATION EAST LANDSCAPE ELEVATION		
ORIGINAL ISSUE	APPROVAL	DATE (M/D/Y)		SUBSTATION ENGINEERING DEPARTMENT	
CADD	GBK	5 / 18 / 08			DRAWING NO D-14346
LAND ARCH	JCGA	5 / 18 / 08	SCALE:	CLASS: SITE	
REVIEW			CADD NO: D 14346 04_E11.DWG	SCANNED	FILE NO
LOG OUT					



PLANT SIZE AT INSTALLATION
WEST ELEVATION



PLANT SIZE AT 10 YEARS GROWTH
WEST ELEVATION

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AND ASSOCIATES INC.**
415 - 118th Avenue SE
Bellevue Washington 98005-3518
Phone: 425.519.6500

0 20 40 60
SCALE: 1" = 20'

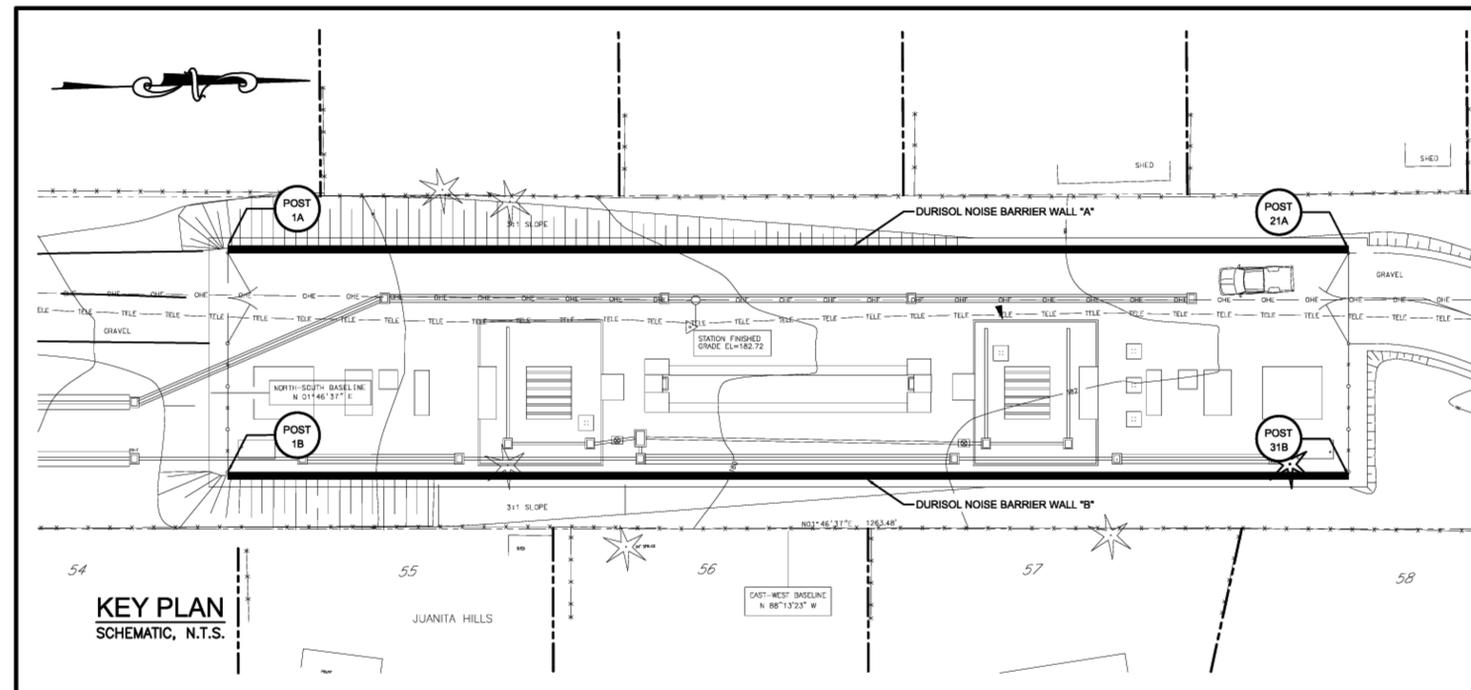
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			CADD NO: D 14346 05. EL2.DWG	SCANNED	FILE NO	

Durisol® NOISE BARRIER WALL SYSTEM

Durisol®
 DURISOL INC.
 CANADIAN OFFICE
 Durisol Inc. 67 Frid Street
 Hamilton, Ontario, CANADA L8P 4M3
 Phone: 905-521-0999 * Fax: 905-521-8658
 UNITED STATES OFFICE
 Durisol USA Inc. 8270 Greensboro Drive, Suite 630
 McLean, Virginia, U.S.A. 22102
 Phone: 866-801-0999 * Fax: 877-268-8813

JUANITA SUBSTATION

WASHINGTON STATE



GENERAL NOTES

1. DESIGN

- 1.1 The structure and its components have been designed in accordance with the following:
 AISC - Manual of Steel Construction - LRFD 2001.
 AASHTO - LRFD Bridge Design Specifications- Latest Edition
 AASHTO - Guide Specifications for Structural Design of Sound Barriers, 1989
 1992 Revisions - 2002 Interims
 BOCA - 1999
- 1.2 All dimensions and sizes are given in feet and inches unless noted otherwise

2. LOADING

- 2.1 Design Wind Pressure = 25.0 psf

3. CONCRETE

- 3.1 All concrete work shall conform to ACI 318.
- 3.2 Concrete cylinder strength at 28 days shall not be less than:
 Durisol Panels (Core).....5000 psi
 Non-shrink Grout (by others).....5000 psi
 Concrete in Footing (by others).....4350 psi

4. FOUNDATIONS

- 4.1 Foundation design based on geotechnical information provided by GeoEngineers Inc., prepared for Puget Sound Energy, report File No. 0186-760-00
- 4.2 Footing concrete to be cast entirely against undisturbed soil, compacted soil to 95% Standard Proctor Density, or rock.

5. REINFORCING STEEL

- 5.1 All reinforcing steel shall be deformed bars and have a minimum yield strength of 60 ksi conforming to ASTM A615.
- 5.2 Welded wire reinforcement shall conform to ASTM A185.
- 5.3 Post and Panel steel to be Hot Dip Galvanized.

6. STRUCTURAL STEEL

- 6.1 All structural steel work to comply with AASHTO M270 (ASTM A709), grade 345 W (50 ksi).
- 6.2 All plates shall conform to AASHTO M270 (ASTM A709) Minimum yield strength = 345 MPa (50 ksi)
- 6.3 All fasteners/Anchor Bolts to be hot-dip galvanized to comply with ASTM A449. Minimum ultimate strength = 725 MPa (105 ksi).
- 6.4 All components shall be hot dip galvanized after fabrication and comply with ASTM A123.
- 6.5 Galvanized surfaces which are abraded shall be cleaned and painted with two coats of zinc-rich paint.

7. WELDING

- 7.1 All welding and the preparation and assembly of materials for welding shall conform to the Standard Specifications for Highway and Bridge Welding Code (ANSI / AASHTO / AWS D1.5) and all interim revisions published by AASHTO as of 2000.

8. ACOUSTIC PROPERTIES

- 8.1 Noise Reduction Coefficient (NRC)
 8.1.1 Minimum NRC for Absorptive Classification ≥ 0.70 .
- 8.1.2 Durisol panels when tested in accordance with ASTM Standard C423-81, free standing, in accordance with ASTM Standard E795-81, record a minimum NRC ≥ 0.70 (both faces).
- 8.2 Sound Transmission Coefficient (STC)
 8.2.1 The Durisol wall meets the minimum STC ≥ 42 when measured in accordance with ASTM Standard E90-75.

9. INSTALLATION

- 9.1 Posts identified by numbers shown on elevation drawings.
- 9.1.1 Posts shall be installed plumb to within a tolerance of $\pm 1/4"$ in 10'-0" and on lines and spacings specified within $\pm 3/8"$, or as per contract.
- 9.2 Bay of panels identified by post number to left of bay.
- 9.3 Each panel in bay identified by code showing type, size and orientation.
- 9.4 All panels to be level horizontally unless noted otherwise.
- 9.5 The Contractor shall verify all dimensions on site and correlate with construction drawings. The Engineer shall be notified of any discrepancies prior to commencing with construction.

000.00 = TOP OF CONCRETE FOUNDATION ELEVATION (R)

1 05.09.08 CLG ISSUED FOR APPROVAL

No. DATE BY DESCRIPTION

REVISIONS

PROJECT TITLE:

JUANITA
 SUBSTATION

LOCATION:

WASHINGTON, USA

DRAWING TITLE:

TITLE SHEET

FEDERAL PROJECT No:

STATE PROJECT No:

SCALE: NOTED

DRAWN BY: CLG

CHECKED BY: GJS

DATE: MAY 5, 2008

DATE OF PRINT: MAY 9, 2008

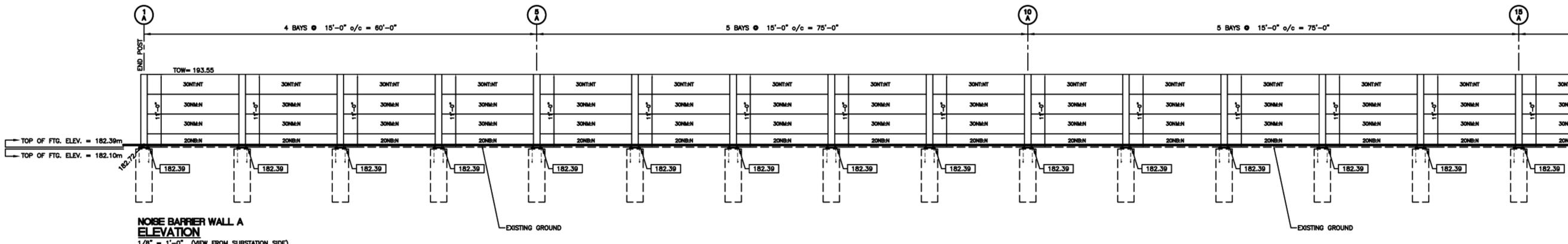
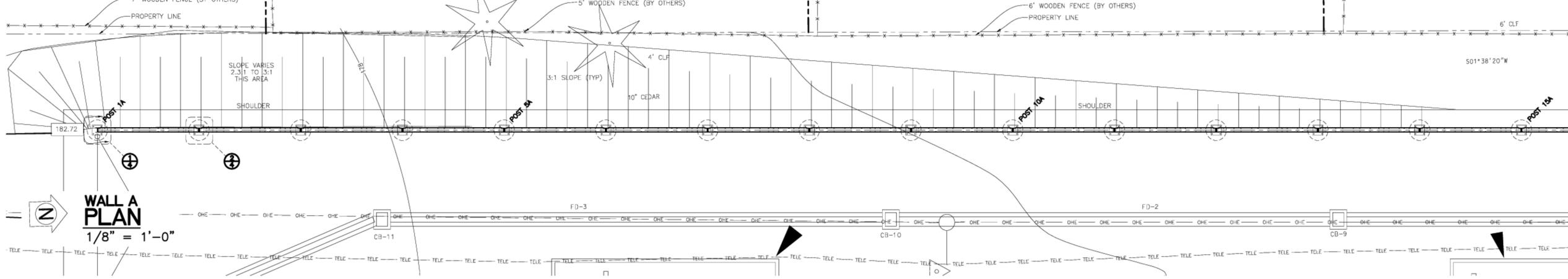
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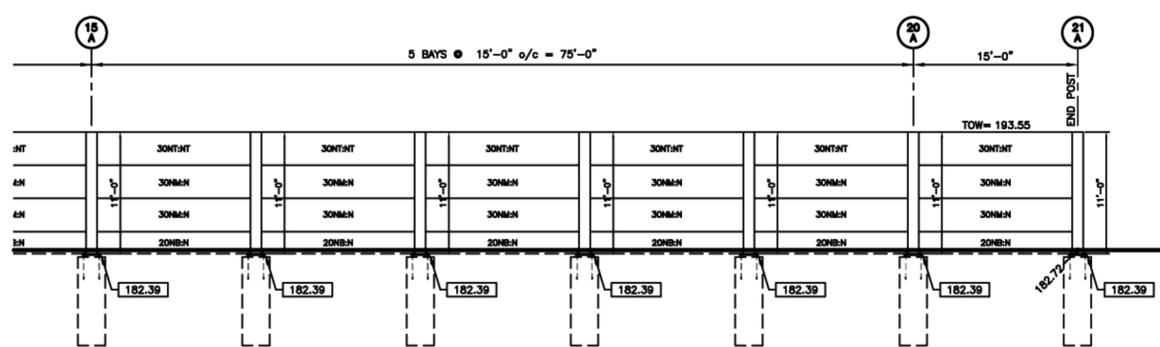
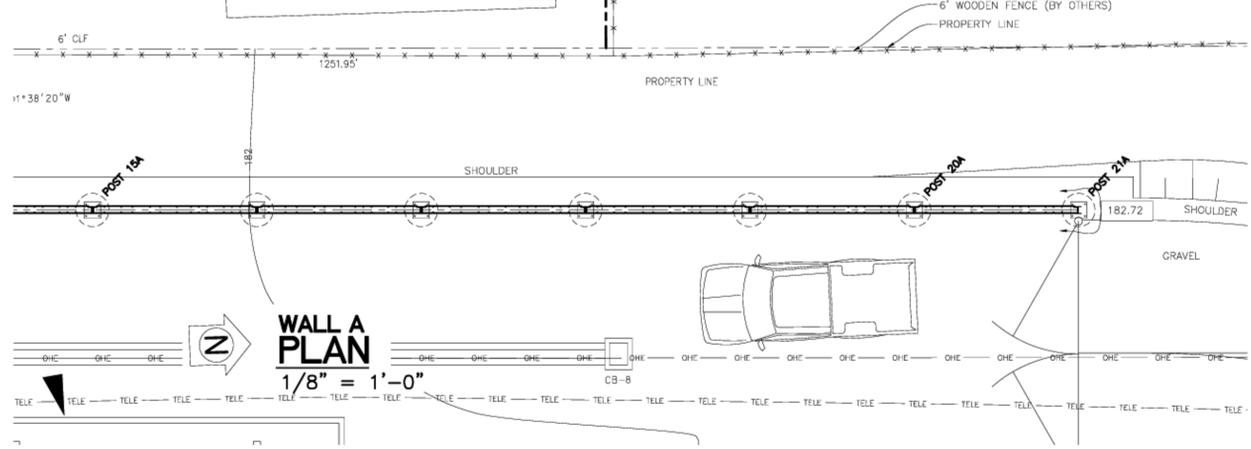
08RC25

SHEET No:

1 of 6



POST TYPE	WB24x11'-0"	POST TYPE													
PLATE THICKNESS	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	1"	PLATE THICKNESS
ANCHOR BOLT DIA.	7/8"	7/8"	7/8"	7/8"	7/8"	7/8"	7/8"	7/8"	7/8"	7/8"	7/8"	7/8"	7/8"	7/8"	ANCHOR BOLT DIA.
POST TYPE	WB24x11'-0"	POST TYPE													
FTG. DIAMETER	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	FTG. DIAMETER
FTG. DEPTH	9'-6"	9'-6"	9'-6"	9'-6"	9'-6"	9'-6"	9'-6"	9'-6"	9'-6"	9'-6"	9'-6"	9'-6"	9'-6"	9'-6"	FTG. DEPTH



NOISE BARRIER WALL A ELEVATION
 1/8" = 1'-0" (VIEW FROM SUBSTATION SIDE)
 (CONTINUED...)

POST TYPE	WB24x11'-0"	WB24x11'-0"	WB24x11'-0"	WB24x11'-0"	WB24x11'-0"	WB24x11'-0"	POST TYPE
PLATE THICKNESS	1"	1"	1"	1"	1"	1"	PLATE THICKNESS
ANCHOR BOLT DIA.	7/8"	7/8"	7/8"	7/8"	7/8"	7/8"	ANCHOR BOLT DIA.
POST TYPE	WB24x11'-0"	WB24x11'-0"	WB24x11'-0"	WB24x11'-0"	WB24x11'-0"	WB24x11'-0"	POST TYPE
FTG. DIAMETER	30"	30"	30"	30"	30"	30"	FTG. DIAMETER
FTG. DEPTH	9'-6"	9'-6"	9'-6"	9'-6"	9'-6"	9'-6"	FTG. DEPTH

000.00 = TOP OF CONCRETE FOUNDATION ELEVATION (R)

NO.	DATE	BY	DESCRIPTION
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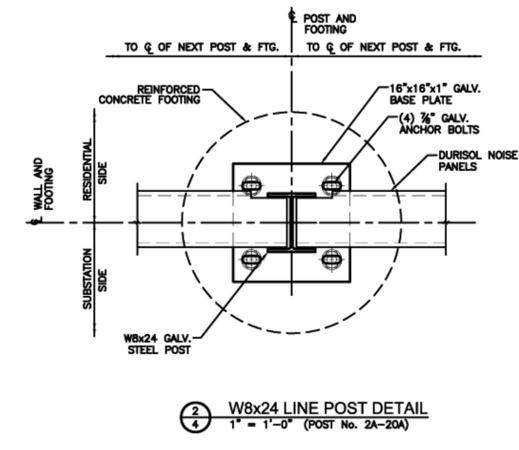
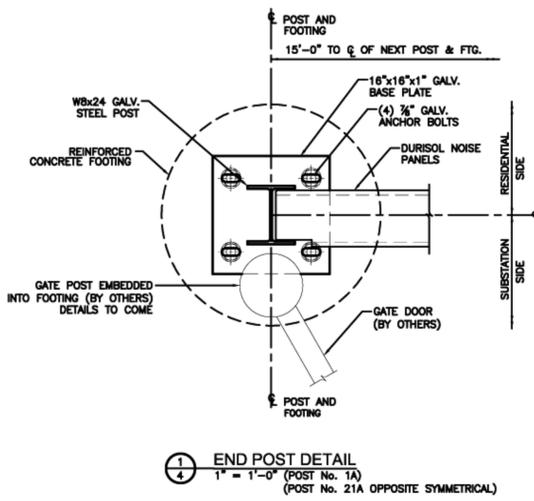
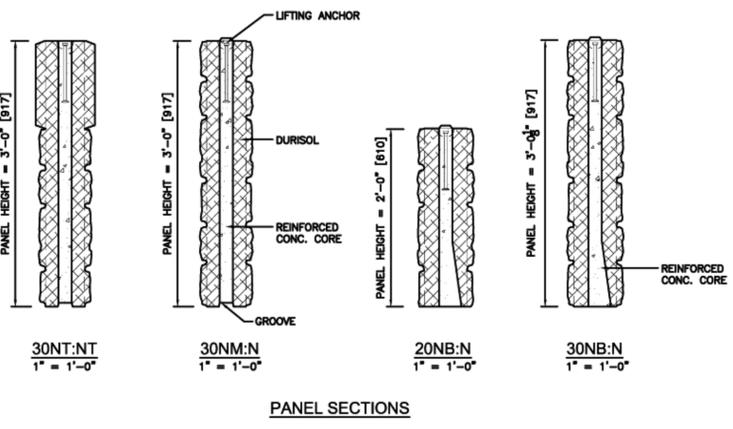
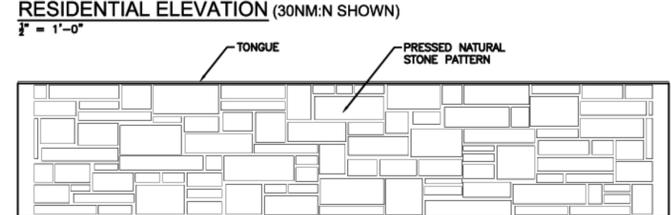
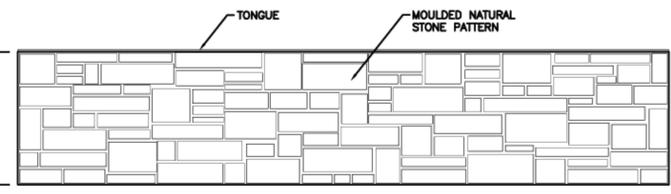
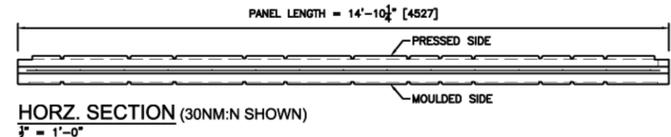
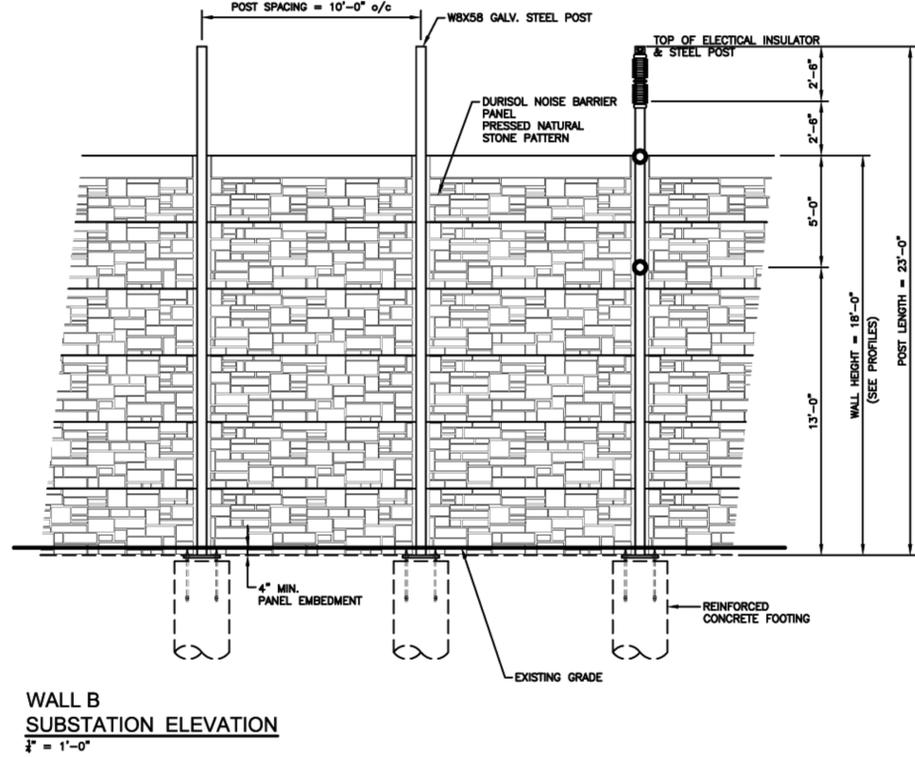
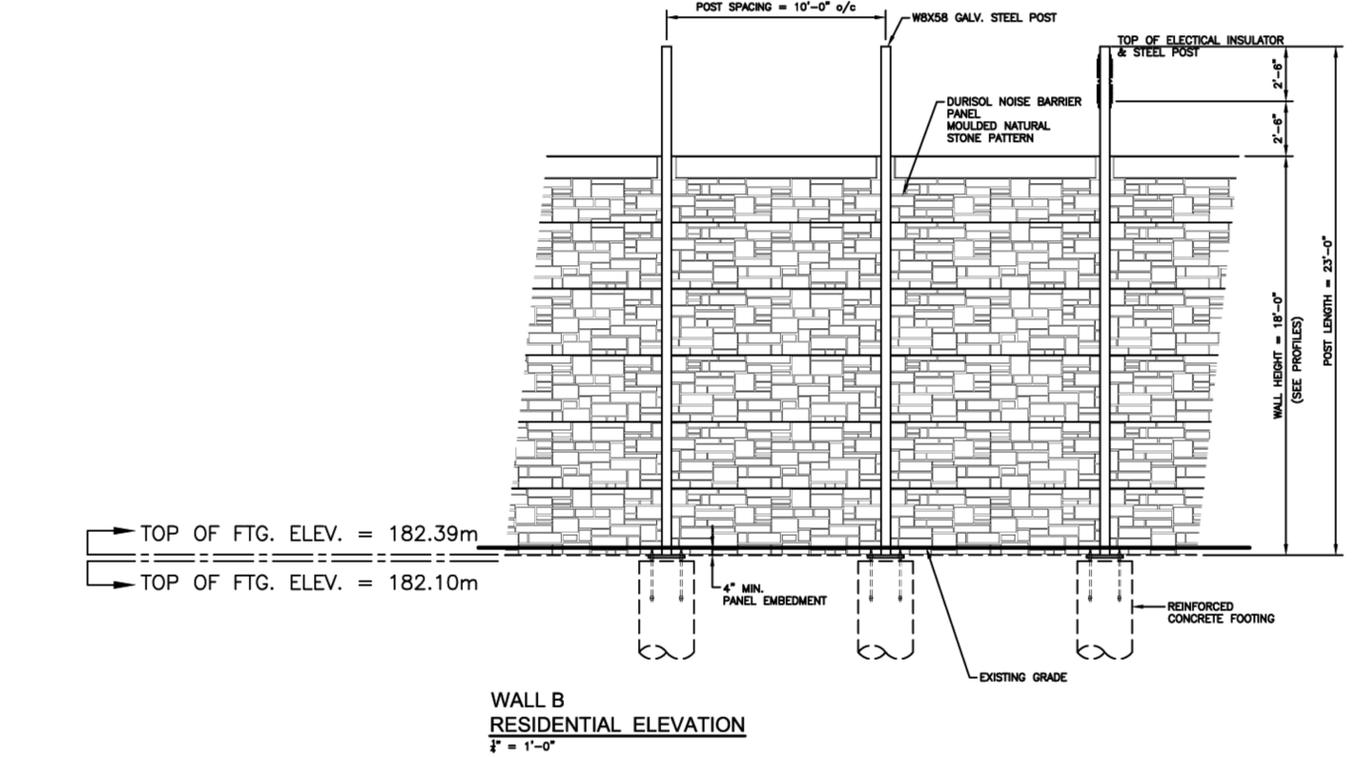
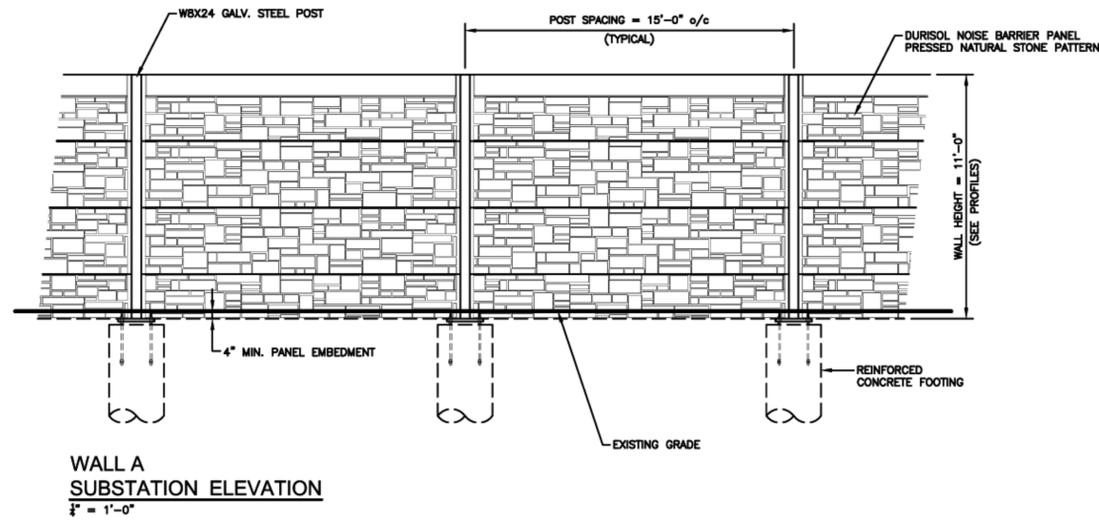
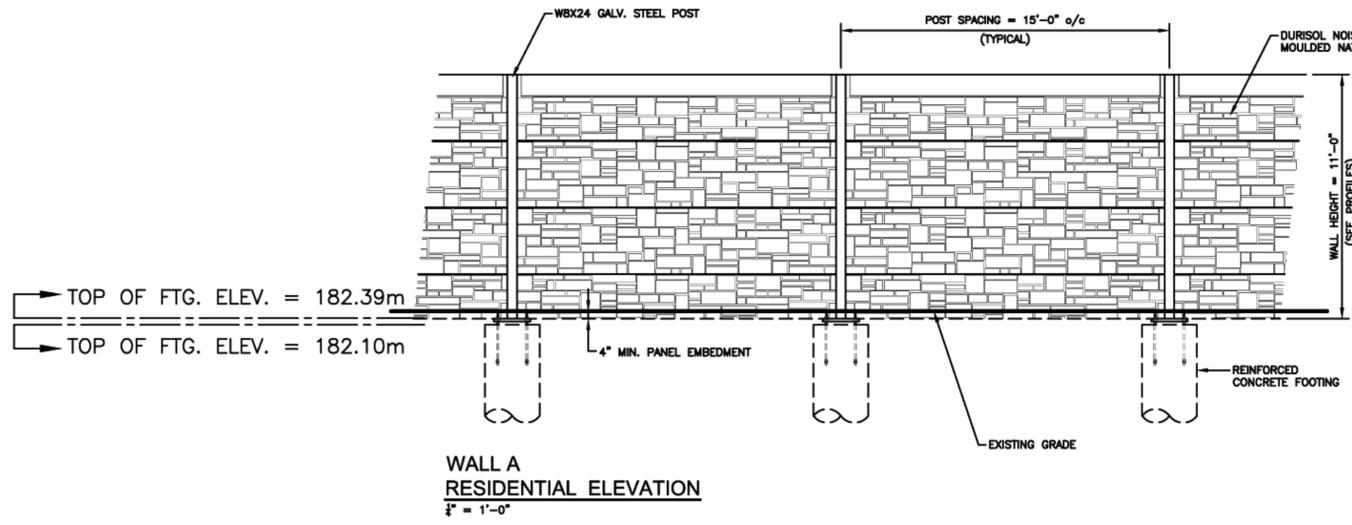
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 JUANITA SUBSTATION

LOCATION:
 WASHINGTON, USA

DRAWING TITLE:
 WALL A PLAN & PROFILE

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STATE PROJECT No:	DRAWN BY: CLG	DURISOL PROJECT No: 08RC25
CHECKED BY: GJS	DATE: MAY 5, 2008	SHEET No: 2 of 6
DATE OF PRINT: MAY 9, 2008		



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1	05.09.08	CLG	ISSUED FOR APPROVAL
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**JUANITA
SUBSTATION**

LOCATION:
WASHINGTON, USA

DRAWING TITLE:
**ELEVATION &
TYPICAL DETAILS**

FEDERAL PROJECT No:
 STATE PROJECT No:

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CHECKED BY: GJS	SHEET No: 4 of 6
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DATE OF PRINT: MAY 9, 2008	

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JUANITA
 SUBSTATION

LOCATION:

WASHINGTON, USA

DRAWING TITLE:

TYPICAL
 DETAILS

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CHECKED BY: GJS

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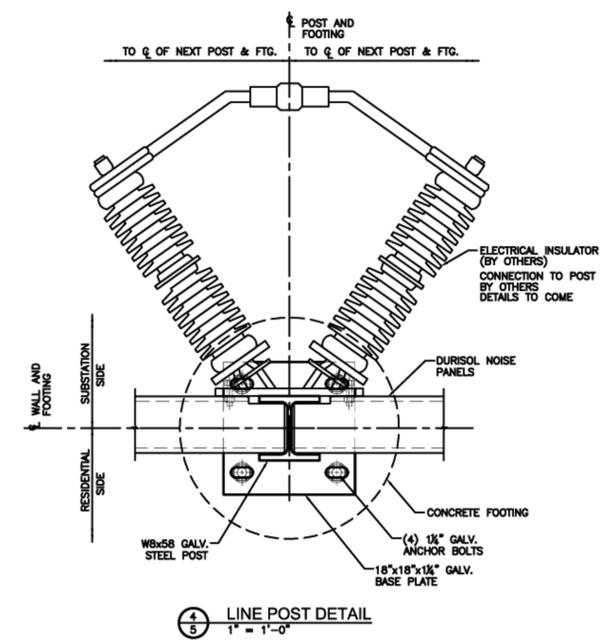
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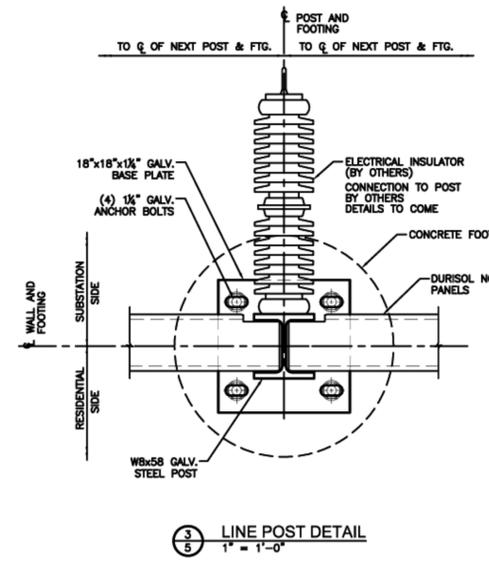
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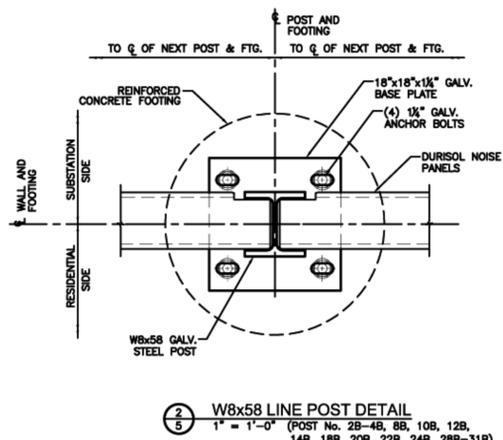
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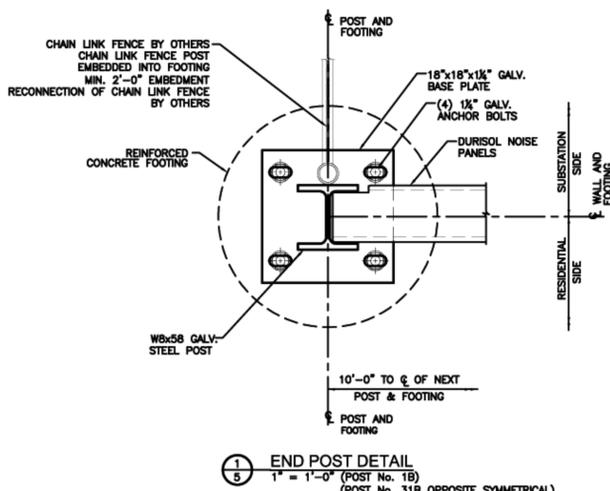
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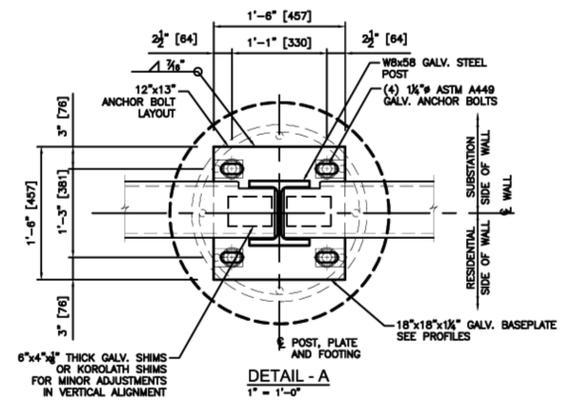
3 LINE POST DETAIL
 1" = 1'-0"



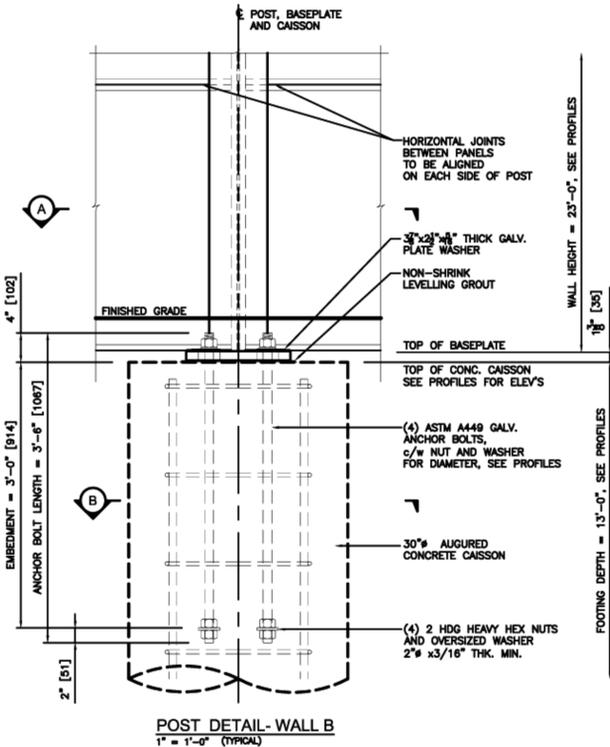
2 W8x58 LINE POST DETAIL
 1" = 1'-0" (POST No. 2B-4B, 8B, 10B, 12B, 14B, 18B, 20B, 22B, 24B, 28B-31B)



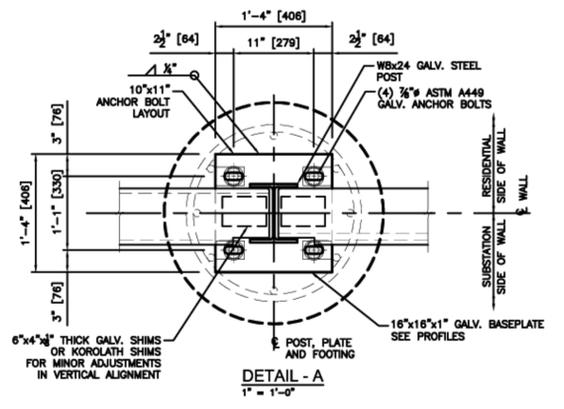
1 END POST DETAIL
 1" = 1'-0" (POST No. 1B)
 (POST No. 31B OPPOSITE SYMMETRICAL)



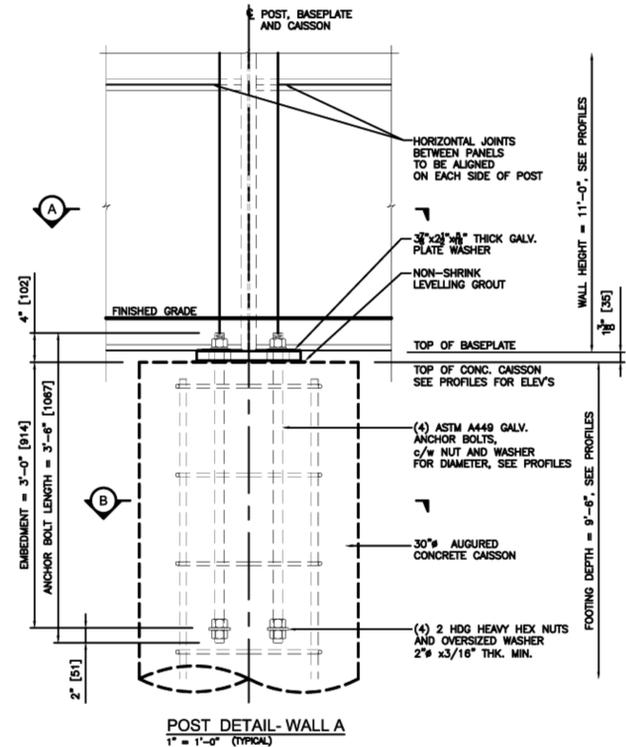
4 POST DETAIL - WALL A
 1" = 1'-0"



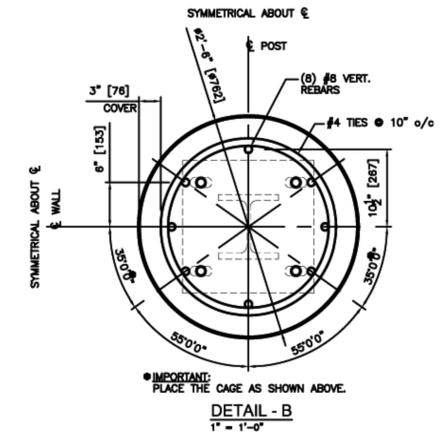
3 POST DETAIL - WALL B
 1" = 1'-0" (TYPICAL)



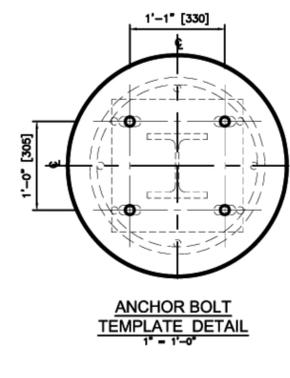
2 POST DETAIL - WALL A
 1" = 1'-0"



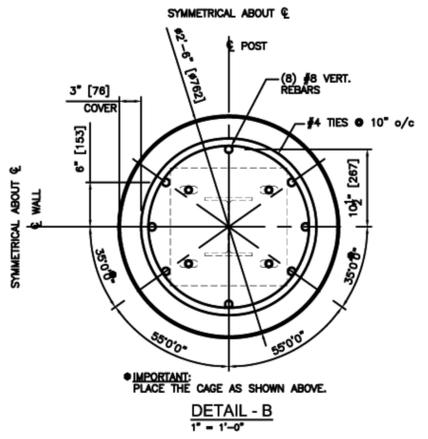
1 POST DETAIL - WALL A
 1" = 1'-0" (TYPICAL)



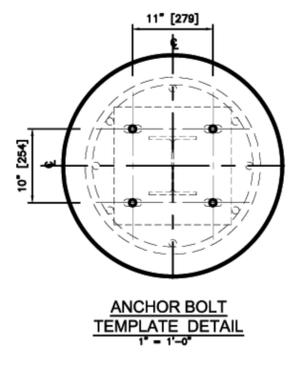
4 ANCHOR BOLT TEMPLATE DETAIL
 1" = 1'-0"



3 ANCHOR BOLT TEMPLATE DETAIL
 1" = 1'-0"



2 ANCHOR BOLT TEMPLATE DETAIL
 1" = 1'-0"



1 ANCHOR BOLT TEMPLATE DETAIL
 1" = 1'-0"

000.00 = TOP OF CONCRETE FOUNDATION ELEVATION (R)

1 05.09.08 CLG ISSUED FOR APPROVAL

No. DATE BY: DESCRIPTION:

REVISIONS

PROJECT TITLE:

JUANITA
 SUBSTATION

LOCATION:

WASHINGTON, USA

DRAWING TITLE:

SECTIONS

FEDERAL PROJECT No:

STATE PROJECT No:

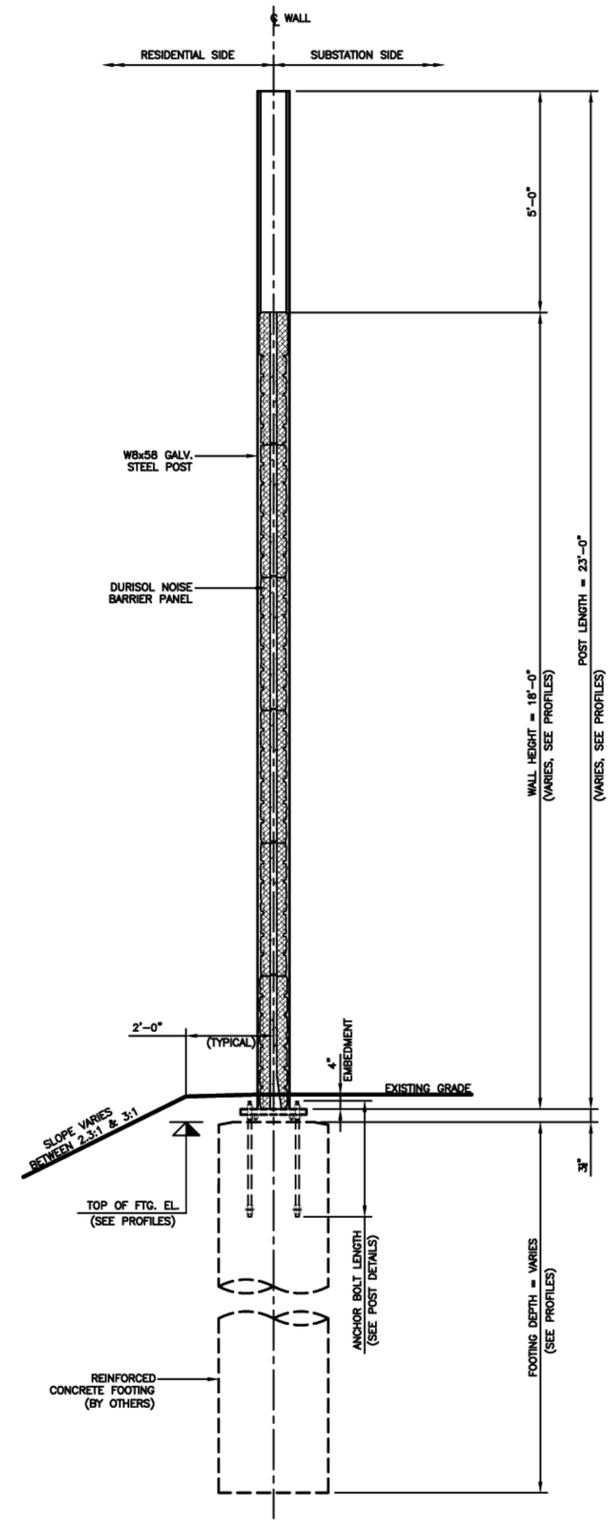
SCALE: NOTED ACD FILE: 08rc025-06.dwg

DRAWN BY: CLG DURISOL PROJECT No: 08RC25

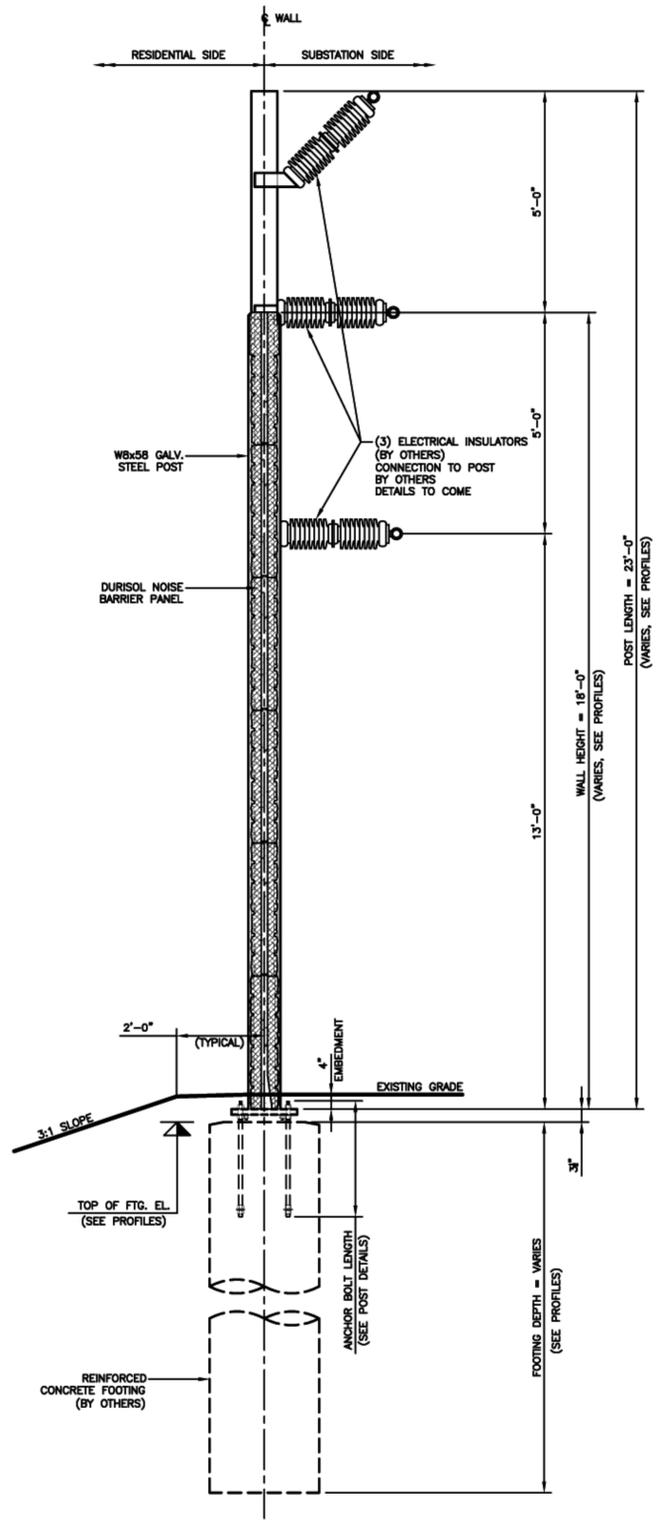
CHECKED BY: GJS SHEET No: 6 of 6

DATE: MAY 5, 2008

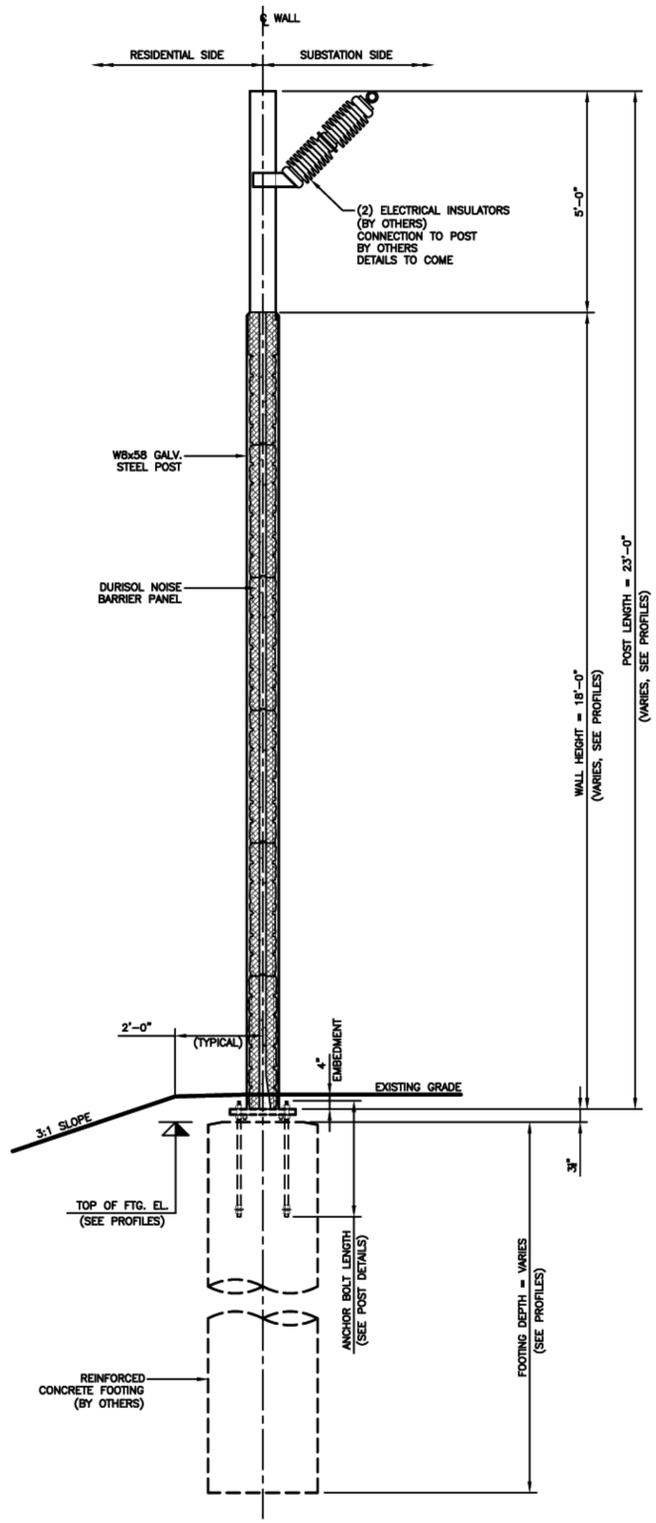
DATE of PRINT: MAY 9, 2008



1 SECTION "WALL B"
 6 1/2" = 1'-0"



2 SECTION "WALL B"
 6 1/2" = 1'-0"



3 SECTION "WALL B"
 6 1/2" = 1'-0"

PSE Juanita Substation Update and Damages

September 15, 2009

Wall Height and “View”

- 23ft wall from existing ground level
 - Plans given to Council in Examiner were misleading and did not show backfill, showed an 18ft wall
 - Confirmed by PSE in writing as it was not a “requirement” to show Council and Examiner
- Pole heights 40+
 - Wall has additional ~10 ft of I-Beam on top
 - Will hold power lines and equipment
 - Was this additional height and equipment taken into account?
 - Shadows from wall start in backyard around 2pm, fully shadowed around 5:30pm and blocks sun





Unreasonable Hours and Noise

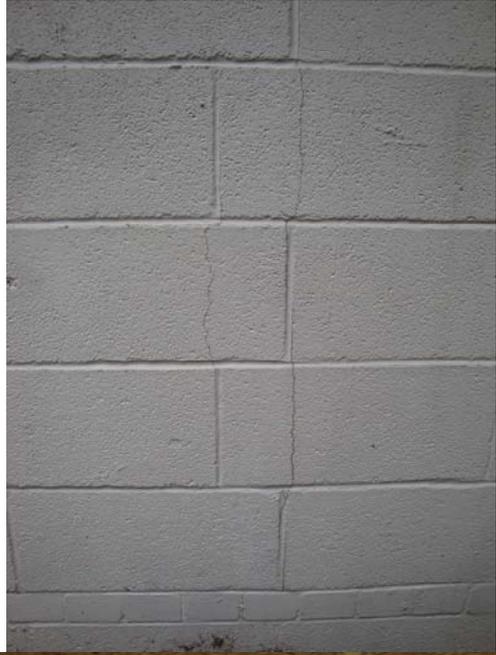
- Excessive Noise, 7am-8pm
 - 5 to 6 days a week
 - Compaction Equipment
 - Violent Vibrations and Earthquakes
 - Damaged houses
 - Bulldozers
 - Constant Beeping, Scraping, Vibrations,
 - Dump Trucks
 - Dust, Emissions
 - Cranes / Lifts
- Makes being at home unbearable

No Privacy

- No Privacy
 - Workers all day in our backyards
 - On lifts and equipment all day looking into our yards and houses
- No privacy fence installed as requested
- Working yelling, cursing, smoking

Damages to Private Property

- Damage and Cracks in but limited to:
 - Chimneys
 - Patios
 - Foundations
 - Drywall
- Damage to Floors, Doors and Windows
- Long-term damage due settling/pounding





Damages to Private Property

- PSE is taking a completely passive role
 - Sent out a “report” (2 page letter) from their “expert” saying that the construction “shouldn’t” have damaged anything.
 - PSE failed to monitor or measure any vibrations or work of any kind and only did so after it damaged my house and I filed a complaint. At which point they lowered and changed the equipment settings.
 - Their “expert” was paid by PSE and did all of the ground work in back.
 - Maybe a conflict of interest???
 - Has yet to respond to questions on the revenue from PSE.
 - Their “expert” told me a different response than what PSE was “told” regarding the damage.
 - We have yet to hear back from PSE on any damage issue.

PSE Preferential Treatment

- City allowed PSE to remove tree barriers
 - Caused damage to trees, roots and fences
- After Hours work
 - Working after permit hours
 - PSE gave excuse that it was working on a power outage
- City of Kirkland allows PSE to supply reports from their own people regarding issues and violations.
 - It is like asking them to grade their own homework, of course they are going to give themselves A's --- just ridiculous!
- City of Kirkland Planning department and inspectors don't care in the least and seem to be “in bed” with PSE.
 - They are doing the most minimal job possible.
 - In meetings and via email it appears that Tony Leavitt and the City of Kirkland Planning department is actually working for PSE.



PSE Permit Approval

- When the City of Kirkland approved this permit and all three variances, without requiring PSE to look at even one other location, did you all take into account how it would adversely affect the neighbors, their houses, their property values, their health, their LIVES?
 - There WERE other options on the power corridor with NO surrounding neighbors, less than 4 blocks away.

What is the City of Kirkland going to do?

- When is the City of Kirkland going to stop the preferential treatment and enforce regulations on PSE?
- How does the City of Kirkland plan to compensate the TEN home owners for the serve loss in property value due to actions and approval of the substation by the City of Kirkland?
 - For most people this is a the majority of their net worth
 - You all said that you wouldn't want it in your backyards but approved it anyway...

Gilles Consulting

— Brian K. Gilles —

4 2 5 - 8 2 2 - 4 9 9 4

FIELD REPORT, # 1 PSE JUANITA SUBSTATION AT

109th Avenue NE
Between NE 128th & 132nd Streets
Kirkland, WA 98033

Site Visit Date: July 27, 2009

Report Date: July 30, 2009

PREPARED FOR:

Rory Godinez, Superintendent
Wade Perro Construction, LLC
P.O. Box 1728
Gig Harbor, WA 98335

PREPARED BY:

GILLES CONSULTING

Brian K. Gilles, Consulting Arborist

ISA Certified Arborist # PN-0260A

ASCA Registered Consulting Arborist # RCA-418

PNW-ISA Certified Tree Risk Assessor #148



fax: 425-822-6314

email: bkgilles@comcast.net

P.O. Box 2366 Kirkland, WA 98083

REASON FOR SITE VISIT: Met Superintendent Godinez for WPC on site to discuss tree trimming and fill requirements needed to stabilize the perimeter walls and how that will impact the critical root zone of trees on adjacent properties.

Tree Trimming:

There are two large evergreen trees on the properties east of the east property line with canopies that overhang the substation property. They will need to be side pruned in order to allow for the construction of the perimeter sound/safety wall.

Mr. Godinez stated that he would contact the same tree service that had done the removals for the project and get them on site right away.

Additional Fill Requirement:

Along both the east and west tree protection fence areas, additional fill is needed for the stabilization of the sound/safety walls. The fill needs to be 3:1 and 2:1 slopes in different areas. This means that the fill will be extended through the tree protection zone almost to the property line.

This fill will have a negative impact on the critical root zone of the trees on the adjacent properties—the very trees the tree protection fences were placed to protect. The problem is that the fill will limit air penetration to the critical root zone and will suffocate the roots. Air is important because four of the critical elements required for tree growth come from the air and are absorbed by the roots.

I believe the problem can be mitigated with a simple aeration system. The plan is to place 4-inch perforated plastic pipe that is wrapped in landscape fabric on the existing grade. The steps are:

- Lay the pipe on the existing grade.
- Daylight one end to the air and the end of the fill—close to the property line.
- Cap the opposite end of the pipe to prevent sedimentation into the pipe.
- Place one row of holes on the ground.
- Place the pipes six feet apart.
- Fill over them with pea gravel
- Then complete the fill.

This should allow adequate air penetration down to the roots.

Please refer to the attached drawing for details.

WAIVER OF LIABILITY

There are many conditions affecting a tree's health and stability, which may be present and cannot be ascertained, such as, root rot, previous or unexposed construction damage, internal cracks, stem rot and more which may be hidden. Changes in circumstances and conditions can also cause a rapid deterioration of a tree's health and stability. Adverse weather conditions can dramatically affect the health and safety of a tree in a very short amount of time. While I have used every reasonable means to examine these trees, this evaluation represents my opinion of the tree health at this point in time. These findings do not guarantee future safety nor are they predictions of future events.

The tree evaluation consists of an external visual inspection of an individual tree's root flare, trunk, and canopy from the ground only unless otherwise specified. The inspection may also consist of taking trunk or root soundings for sound comparisons to aid the evaluator in determining the possible extent of decay within a tree. Soundings are only an aid to the evaluation process and do not replace the use of other more sophisticated diagnostic tools for determining the extent of decay within a tree.

As conditions change, it is the responsibility of the property owners to schedule additional site visits by the necessary professionals to ensure that the long-term success of the project is ensured. It is the responsibility of the property owner to obtain all required permits from city, county, state, or federal agencies. It is the responsibility of the property owner to comply with all applicable laws, regulations, and permit conditions. If there is a homeowners association, it is the responsibility of the property owner to comply with all Codes, Covenants, and Restrictions (CC&R's) that apply to tree pruning and tree removal.

This tree evaluation is to be used to inform and guide the client in the management of their trees. This in no way implies that the evaluator is responsible for performing recommended actions or using other methods or tools to further determine the extent of internal tree problems without written authorization from the client. Furthermore, the evaluator in no way holds that the opinions and recommendations are the only actions required to insure that the tree will not fail. A second opinion is recommended. The client shall hold the evaluator harmless for any and all injuries or damages incurred if the evaluator's recommendations are not followed or for acts of nature beyond the evaluator's reasonable expectations, such as severe winds, excessive rains, heavy snow loads, etc.

This report and all attachments, enclosures, and references, are confidential and are for the use of the client concerned. They may not be reproduced, used in any way, or disseminated in any form without the prior consent of the client concerned and Gilles Consulting.

Thank you for calling Gilles Consulting for your arboricultural needs.

Sincerely,



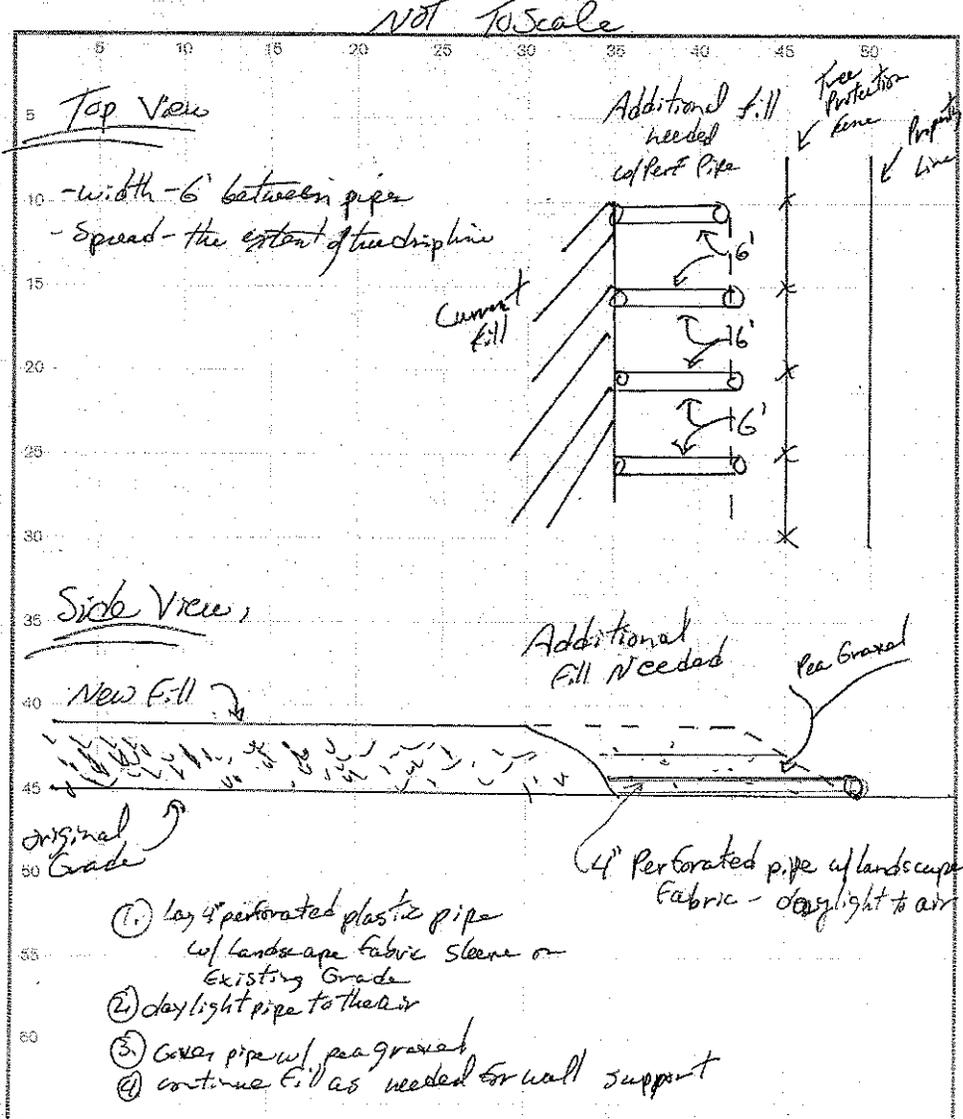
Brian K. Gilles, Consulting Arborist
ISA Certified Arborist # PN-0260A
ASCA Registered Consulting Arborist # RCA-418
PNW-ISA Certified Tree Risk Assessor #148

ATTACHMENT 1, AERATION SYSTEM PLAN

Gilles Consulting

— Brian K. Gilles —
 425 - 822 - 4994
 bkgilles@comcast.net
 P.O. Box 2366
 Kirkland, WA 98083

Date: 7/28/09
 Name: PSE Juanita Substation
 Address: 109th Ave Between NE 128th & 132nd
Kirkland WA 98034



Tony Leavitt

From: Walls, Randal L -Randy [randal.walls@pse.com]
Sent: Thursday, September 10, 2009 10:23 AM
To: Hutchinson, Jim D; Tony Leavitt
Subject: FW: PSE Juanita Substation Work after permit hours

Jim and Tony,

We investigated the complaint by Mr. Heslop sent on Wednesday, September 9th regarding a construction crew working after permit hours at Juanita Substation.

There was a crew working at Juanita Substation on Tuesday, September 8th, but it was not related to the construction work on the new substation. The crew was a Potelco Line Crew dispatched to our existing Juanita Substation to restore power to our customers due to an outage that occurred on Circuit 13. The outage was restored and the line crew finished at 11:08 pm on Tuesday night. The outage repair had nothing to do with the construction of the new substation, but was necessary to restore power to our customers. Here is the job log from our PSE dispatch documenting the repair:

08-Sep-09 13:47 JUANITA 13 -CREW1 I 5677 JEC

08-Sep-09 13:47 JEC
8611 NE 132ND PL, KIRKLAND
U-MAP 2605E075
ORDER # 353-896-966

G-HOUSER DISPATCHED

08-Sep-09 15:15 JEC
G-HOUSER S.O.S

08-Sep-09 15:38 JEC
G-HOUSER REPORTS HE FOUND A B/O HOTLEG. HE IS UNABLE
TO HOOK UP AN AUTO XFMR BECAUSE THERE IS NO GROUND
ROD AND THE METER IS RIGHT OVER THE GAS. A CREW1 IS
NEEDED FOR REPAIRS.

08-Sep-09 15:50 SP CALLED /PAGED JEC
08-Sep-09 15:50 SP RETURNED CALL TIME JEC
08-Sep-09 16:00 SP CALLED WITH CREW MEMBERS NAMES JEC
K-SWAYZE-FOREMAN
253-405-3833

08-Sep-09 17:38 SP CREW ESTIMATED ON-SITE TIME JEC
08-Sep-09 17:38 SP CREW ACTUAL ON-SITE TIME JEC
08-Sep-09 22:00 SP FOREMAN'S ESTIMATED RESTORE TIME REC
08-Sep-09 23:06 SP JOB COMPLETION TIME REC

08-Sep-09 23:06 REC
DIRECT-BURIED FARGOS WERE REPLACED.
25' 4/0 TPX, THREE 4-POS FARGOS, ABOVE GROUND HANDHOLE.
08-Sep-09 23:08 REC

****MATERIALS LIST****

1 - SECONDARY WIRE(S): 25' 4/0 UG TPX
3 - FARGOS: 4-POS
UG OTHER: ABOVE-GROUND PEDESTAL
1 - LOCATES:

08-Sep-09 23:08 INCIDENT I5677 CLOSED

Thanks
Randy Walls
Construction Manager

-----Original Message-----

From: Brickey, Heather
Sent: Wednesday, September 09, 2009 9:57 PM
To: Walls, Randal L -Randy
Subject: Fw: PSE Juanita Substation Work after permit hours

Fyi...

----- Original Message -----

From: Tony Leavitt <TLeavitt@ci.kirkland.wa.us>
To: mheslop@u.washington.edu <mheslop@u.washington.edu>
Cc: Hutchinson, Jim D; Brickey, Heather; Jeremy McMahan <JMcMahan@ci.kirkland.wa.us>
Sent: Wed Sep 09 15:02:27 2009
Subject: RE: PSE Juanita Substation Work after permit hours

Mr. Heslop,
I will forward your complaint to the City's Code Enforcement Officer for follow-up.

Tony Leavitt, Associate Planner
City of Kirkland Planning and Community Development
123 5th Avenue; Kirkland, WA 98033
Phone: 425.587.3253
Fax: 425.587.3232
tlevitt@ci.kirkland.wa.us
Work Hours:
Monday thru Thursday, 6:30am to 5pm; Off on Fridays

-----Original Message-----

From: Michael H. [mailto:mheslop@u.washington.edu <mailto:mheslop@u.washington.edu>]
Sent: Wednesday, September 09, 2009 1:04 PM
To: Tony Leavitt; Jeremy McMahan
Cc: 'Hutchinson, Jim D'; 'Brickey, Heather'
Subject: PSE Juanita Substation Work after permit hours

Tony,

PSE was working after permit hours, until at least 8:30pm last night.
Please see the attached picture.

Please advise on what the City of Kirkland will do regarding this issue.

Michael



Puget Sound Energy, Inc.
P.O. Box 90868
Bellevue, WA 98009-0868

September 28, 2009

Dear Mayor, Council Members, and City Manager,

My name is Heather Brickey and I am the project manager for the Puget Sound Energy (PSE) Juanita Substation Project at 10910 NE 132nd Street in Kirkland. I am writing to address the issues with our project that Mr. Heslop brought up at the September 15 council meeting.

During Mr. Heslop's September 15 presentation he presented several issues, they were: hours of construction, noise created by construction, privacy, yelling and cursing, alleged damage from construction, and height of the wall.

1. Hours and noise of construction

As with any construction site, during construction there is noise and personnel on the site. It is our goal to complete construction with as little impact to the neighbors as practical. The temporary noise and personnel on PSE utility corridor and construction site, while unfortunate, are unavoidable. It is unreasonable to expect that construction will have no impact to neighbors. PSE crews are working within prescribed time periods set out by the permits. In addition, when questions or concerns have been brought to our attention, I have worked with the crews on site to minimize even further the impact of our construction.

2. Yelling, cursing and smoking

Mr. Heslop alleges that PSE crews have been yelling, cursing, and smoking on the site. As soon as I was informed of this allegation, I contacted our construction supervisor and reiterated that if our crews are engaged in such behavior, it will not be tolerated by PSE and we will take every reasonable step to eliminate any such behavior. Our construction manager informed me that he was not aware of any crew behavior that was inappropriate and he committed to reinforcing the issues with all crews.

3. Privacy

Mr. Heslop alleges that PSE crews were on private property without permission from the homeowners. At no time have PSE personnel or contractors been in the backyards of adjacent property owners without permission.

The use of equipment such as lifts and back hoe's are required to complete the work and are not used for any other purpose. One of the main functions of this equipment is to

install the wall which will provide much more privacy to the neighbors for the remainder of construction.

4. Damage to personal property

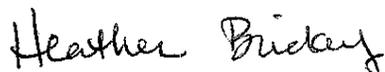
Finally, Mr. Heslop alleges that the construction work, specifically the compaction of the soils has caused damage to his and other neighbors' houses. PSE takes all claims of damage seriously. I have been in communication with several homeowners over the alleged damage and several homeowners have submitted claims with PSE. We are currently working with these homeowners to determine the cause of the damage.

5. Height of the wall

We are building the wall to the height specifications are allowed by our permits.

I understand that the construction of the new substation on our existing utility corridor is an inconvenience to the neighbors and I am working to reduce or mitigate the impacts as much as possible. We are working with the homeowners on each claim and on general mitigation regarding the project including additional vegetation on PSE property and homeowner's property, new fencing for homeowners, and artwork attached to the substation wall. PSE is committed to working with the homeowners and we will consider all reasonable mitigation.

Respectfully,



Heather Brickey
Project Manager
Puget Sound Energy