

CITY OF KIRKLAND

123 FIFTH AVENUE, KIRKLAND, WASHINGTON 98033-6189 (425) 587-3249

**DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
MEMORANDUM**

To: David Ramsay, City Manager

From: Dorian Collins, AICP, Senior Planner
Paul Stewart, AICP, Deputy Director
Eric Shields, AICP, Planning Director

Date: May 24, 2006

Subject: **ADOPTION OF ORDINANCE 4051, AMENDING THE KIRKLAND ZONING CODE AND ZONING MAP FOR NEW DEVELOPMENT REGULATIONS TO IMPLEMENT THE TOTEM LAKE NEIGHBORHOOD PLAN (FILE ZON04-00020), AND ADOPTION OF ORDINANCE 4052, AMENDING THE KIRKLAND MUNICIPAL CODE, DESIGN GUIDELINES**

RECOMMENDATION

1. Conduct a public hearing to receive public testimony on the proposed amendments to the Zoning Code, Zoning Map, and Municipal Code.
2. Revise the proposed draft amendments if desired, and approve the enclosed ordinances amending the Zoning Code, Zoning Map and Municipal Code, related to new development standards for the TL 10B, C, D and E zones, and revisions to regulations in the TL 6 zone.

Revised Ordinance 4051 amending the Zoning Code and Zoning Map

- ♦ Amends to Chapter 55 of the Zoning Code, to add additional Use Zone Charts for the Totem Lake Neighborhood (TL 10B-TL 10E). Revision to regulations for the existing TL 6 Use Zone chart (adopted on March 21, 2006, Ordinance 4037).
- ♦ Amends to miscellaneous sections in the Zoning Code to add references to the new zoning districts.
- ♦ Amends the Zoning Map to rezone land from PLA 11 to TL 10B, and land in LIT to TL 10C, TL 10D and TL 10E.

Revised Ordinance 4052 amending the Kirkland Municipal Code

- ♦ Adopts by reference new "Design Guidelines for the Totem Lake Neighborhood". The Design Review Board will use the guidelines to evaluate development proposals during the design review process.

BACKGROUND DISCUSSION

The proposed amendments would establish new development regulations and design guidelines for land in the Totem Lake neighborhood, west of I-405. The Planning Commission's recommendation for Zoning Code, Zoning Map and Design Guidelines for these areas was presented to the City Council on January 3, 2006, and later considered for approval on February 21, 2006. The City Council adopted regulations and guidelines for many of the remaining zones in the neighborhood at its regular meeting on March 21, 2006. The Council did not take action on the Planning Commission's recommendation for the TL 10B-TL 10E zones at that time, since the Council concluded that it might be interested in a number of changes to the regulations as proposed by the Commission.

Zoning Code Amendments (Ordinance 4051)

The chief concern expressed by the Council at the meeting on March 21st was the degree to which the draft amendments supported residential use within districts TL 10B-TL 10D. Members of the Council discussed their interest in preserving land for commercial (primarily office) development within the area, and the fear that residential development may displace commercial in light of current development trends. The Council concluded that a group visit to the area would be helpful in understanding both where residential use might be appropriate, as well as the topography of the area, and how height limits and use type might relate to this topography.

On April 15, 2006, the City Council, along with staff and members of the Planning Commission, took a tour of the districts under consideration. At that time, the Council provided direction to staff for possible revisions to the draft amendments. The amendments that appear as Exhibits to Ordinance 4051 have been revised to incorporate the direction of the City Council. The changes, and any research performed to develop the changes, are discussed in the following section.

Zoning Map Amendments (Ordinance 4051)

The proposed Zoning Map changes include the same boundaries for the TL 10B-TL 10E zones that were included in the information presented to Council at previous meetings. While the Council expressed some interest in changing the boundaries in some of the districts, particularly between TL 10D and TL 10E, staff advises that changes to the district boundaries would not be consistent with the adopted Totem Lake Neighborhood Plan.

Design Guidelines (Ordinance 4052)

The draft Design Guidelines, included as an exhibit to Ordinance 4052, have been revised to include the Vision Statements for the TL 10B-TL 10E districts. These sections were included in the original Planning Commission recommendation, but were removed from the version adopted as part of Ordinance 4038, since these subareas were not under consideration at the time that ordinance was presented to the Council.

FOLLOW UP REVISIONS FROM COUNCIL DISCUSSION, MARCH 21ST AND TOUR, APRIL 15TH

Many of the changes to the districts in the study area are related to the issue of the appropriate locations for residential use. Exhibit J to Ordinance 4051 contains a new plate that staff recommends be added to the amendments that would be titled "Stand-Alone Housing Areas". The plate would be contained within Chapter 180 of the Zoning Code, and would indicate the locations within the Housing Incentive Areas identified within the Totem Lake Plan where this form of residential development would be allowed.

TL 10B (Exhibit C to Ordinance 4051)

The City Council concluded that residential use within this zone should be limited to property located west of the 118th Avenue NE right-of way alignment. In addition, the Council concluded that some additional building height for office/high tech use would be appropriate. Changes to the proposed regulations to address this direction include:

- Stand-alone housing development to be limited to land west of 118th Avenue NE r-o-w alignment (see Exhibit J to Ordinance 4051, Plate Z). New special regulation added to restrict the location for this use (#1).
- Building height for office and high tech uses increased from 35' to 40', to allow for a 3 story building (assuming 13' per story).
- Building height for office and high tech uses increased to 55', where land dedication is provided for the 118th Avenue NE right-of-way. This revision is intended to preserve the development incentive provided in this zone for land dedication for the road. The previous draft regulations for this zone provided a bonus to 45' in height with dedication. In order to continue to provide for an additional story, the bonus must be increased by at least 13' beyond the 40' height now allowed outright for office/high tech development.
- Building height for residential use increased from 55' to 60', to remain consistent with language in the Totem Lake Plan, which states that properties in this area "should be allowed additional height only if residential uses are provided" (text for Policy TL-26.3). The greatest height in the zone would be granted to residential use.

TL 10C (Exhibit D to Ordinance 4051)

The Council concluded that restricting the location for stand-alone housing development within this zone would be appropriate, with a similar approach to that discussed in TL 10B, above. In this area, however, the Council indicated support for residential development in mixed-use projects throughout the zone, if commercial use remained the primary component of the development. Revisions to the proposed regulations include:

- Stand-alone housing development to be limited to western portion of zone (see Exhibit J to Ordinance 4051, Plate Z). The new special regulation (#1) added to restrict the location for this use includes the following language as well: "If developed in a mixed-use project with three stories of office or high technology use, it may be located throughout the TL 10C zone."
- Building height for office and high tech use increased from 35' to 40' (allows 3 stories, as in TL 10B).

- Eliminated special regulation from earlier draft that called for an additional step back in building height from residential zone to the west. :
 - ~~Maximum building height may be increased as follows:~~
 - ~~Maximum building height is 45' feet above average building elevation where not adjoining a low density zone, but not more than 200 feet from the boundary of a low density zone.~~
 - ~~Maximum building height is 55' above average building elevation where beyond 200 feet of a low density zone.~~

Staff suggests that this restriction be eliminated due to the narrow area remaining for housing development that may not be adequate to allow for this type of step back. In addition, the park parcel that lies between this zone and the single family zone to the west provides a substantial buffer.

- Added provision for additional building height for office and high tech use, when combined with residential use (consistent with first bullet, above).

TL 10D (Exhibit E to Ordinance 4051)

As in TL 10B and TL 10C, the Council directed staff to revise the regulations for this zone to limit stand-alone residential use to several parcels adjoining the single family zone to the west. Outside of these areas, multifamily use would be permitted within a mixed-use development, as in TL 10C, above.

During the bus tour of the area, the Council noted the significance of the steep slope in approximately the center of the TL 10D zone, within about 150 feet of the single family zone to the west (see topography map, Attachment 1). Due to the slope, and other topographic changes in the area that result in elevations lower than the single family areas in many locations, the Council suggested that height limits within the zone be increased somewhat, from 65' to 80', for office/high tech uses.

Conceptual Modeling

In order to get a sense of the relationship between the area's topography and appropriate building heights, Planning staff (our graduate intern) created a conceptual model of the area using SketchUp software (see Attachment 2). The model is a tool which allows for sculpting a geographic area and possible building masses in three dimensions. The masses can be mapped on the terrain fairly accurately.

Early conclusions from the modeling indicate that building heights on the ridge, adjacent to the single family area should be handled differently from those in the "valley" below the slope. The regulation contained in both existing LIT zoning, and proposed for the TL 10D zone that restricts building height to 30 feet within 100 feet of a low density zone will be important to maintain compatibility within this transitional area. The visual impact of the potential increase in building height to 65' beyond the 100 foot transition line could be fairly significant, although given that the remaining area is narrow in width, contains a private road running north-south and portions of the slope, future building mass may be more likely to be shifted to the western portion of this site.

East of the ridge, the change in building height from the Planning Commission's recommendation of 65' to the 80' contemplated by the City Council will not create a significant visual impact, when viewed from the west.

Revisions to Proposed Regulations

Revisions to the proposed regulations as directed by the City Council include:

- Stand-alone housing development to be limited to western portion of zone (see Exhibit J to Ordinance 4051, Plate Z). Same special regulation used in TL 10C would be included in this zone to restrict the location for this use. In addition, the following language would be included: "If developed in a mixed-use project with three stories of office or high technology use, it may be located throughout the TL 10D zone."
- Building height for office and high tech use increased from 65 to 80' (allows one additional story).

TL 10E (Exhibit F to Ordinance 4051)

Since residential use has not been included in the recommendation from the Planning Commission for this area, there are no changes related to this use in the TL 10E zone. Changes the Council indicated would be appropriate for this zone include the removal of auto sales as a permitted use, since this use may not be compatible with the vision of the area as an office/high tech business center, and possible requirements and/or incentives for daylighting or otherwise restoring the section of Forbes Creek that exists at the southern end of the zone.

Forbes Creek - Daylighting

During the Council tour, members of the Council noted the presence of a culverted section of Forbes Creek under the parking lot of the southern-most parcel in the ParMac area. It was discussed that the daylighting of the stream might be an important consideration in future development. Council members suggested that bonuses or incentives, such as allowing greater building height could be considered to offset a requirement for daylighting the stream.

In researching this issue, staff confirmed that an opportunity exists to improve fish passage in Forbes Creek through removal of this barrier to migrating fish. As part of the I-405 Kirkland "Nickel" project, WSDOT intends to install a fish-passable replacement culvert under the highway. The City is also currently working on resolving other smaller barriers that exist within Forbes Creek. If the culvert under this parcel in ParMac were to be removed and the stream section daylighted, it is conceivable that the entire length could support fish passage.

One significant challenge to daylighting the stream in this area is the presence of a 72" diameter METRO sanitary sewer trunk line which also crosses the parcel, and intersects the alignment of the watercourse across the site. The sewer line cannot be relocated.

Attachment 3 includes a detailed study of this segment of Forbes Creek, prepared by the Watershed Company. The study discusses the history of the culvert and barriers created along the stream, and evaluates three alternative approaches for gaining fish passage through the area. The conclusions of the Watershed Company are that the second alternative, the provision of a direct open channel, would be the

most successful and least costly of the three. The cost estimate for this approach is approximately \$1.2 million dollars. A representative from the Public Works Department will be present at the meeting to respond to questions from the Council on this topic.

Staff has revised the General Regulations for the TL 10E zone to require development to occur in a manner that would not restrict the future restoration of the stream (see revision points discussed below). The regulation would not place the costs of daylighting on a future developer, but would state that the placement of buildings, driveways and parking areas be located to enable stream restoration to occur in the future. An additional 15 feet of building height would be provided to parcels required to preserve land for stream restoration.

The Council may wish to discuss the merits of this project at a subsequent meeting, and perhaps consider a combination of making this a priority in the Surface Water Utility CIP, and seeking grant funding to support the project. A preliminary step in this work might be the development of preliminary engineering for the project, that would help to define the cost and scope of the work. The Watershed Company estimates that this engineering work would cost between \$50,000-60,000.

Revisions to Proposed Regulations

- Removed provision for vehicle or boat sales and service. The use is revised to allow only: "Vehicle or boat repair, services, washing or rental".
- Added provision to preserve options for future stream restoration, including daylighting. Provisions include a bonus of additional building height for parcels required to preserve land for stream restoration:
 - Where a stream has been diverted into a pipe or culvert, development must not preclude future restoration of the stream to its historic corridor, removal of fish barriers, or the daylighting of the stream. The City may require the applicant to preserve 100 feet in width for the stream corridor. An increase in the allowable building height of 15 feet (beyond 100 feet of a low density zone), shall be extended to those parcels required to preserve land for stream restoration. The placement of buildings, driveways and parking areas shall be located to enable stream restoration to occur.
- Revised text to allow for additional building height within 100 feet of a low density zone (*Note – only the southernmost parcel in the TL 10E zone adjoins a low density zone. This parcel lies at an elevation of approximately 170, while the low density zone to the south is at approximately 220*). The revised text would apply to office and high technology uses only:
 - Building height: Where adjoining a low density zone, 50' above average building elevation. Otherwise, 80' above average building elevation.

TL 6B (Exhibit G to Ordinance 4051)

Although the Council did not direct staff to revise the regulations in this zone, staff has become aware of a regulation that has unintended consequences for development that could be corrected by a minor revision. Staff was contacted by a developer regarding property located within the TL 6B zone, east of 116th Avenue NE and north of NE 124th Street. Although the General Regulations adopted for this zone exempt property more than 500 feet north of NE 124th Street and east of 116th Avenue NE from the requirement for retail use on 50% of the ground floor, the same properties are not exempted from the requirement that space within the ground floor be 15' in height. Since the ground floor ceiling height is intended to support retail development, this requirement should not be imposed where retail use is not required nor anticipated. Therefore, staff recommends that the General Regulations for the TL 6 zones be revised as follows:

1. The ground floor of all structures with frontage on a pedestrian or vehicular circulation route, or adjacent to a pedestrian-oriented space shall be a minimum of 15' in height. This requirement does not apply to:
 - a. The following uses: vehicle service stations, private lodges or clubs, stacked dwelling units, churches, schools, day-care centers, mini-schools or mini-day care centers, assisted living facilities, convalescent center or nursing homes, public utilities, government facilities or community facilities.
 - b. Parking garages.
 - c. Additions to existing non-conforming development where the Planning Official determines it is not feasible or
 - d. Parcels located more than 500 feet north of NE 124th Street, east of 116th Avenue NE.

Additional Information

Traffic

The revisions to the Planning Commission's recommendation under consideration by the City Council support an increase in building heights for office use within the TL 10D zone, and reduce the area for stand-alone housing development within the TL 10B, TL 10C and TL 10D zones. Staff asked the Public Works Department to evaluate a potential growth scenario based on these changes to the Planning Commission recommendation.

The scenario evaluated included redevelopment of 25% of the parcels in the TL 10B-E TAZs (Traffic Analysis Zones), with office development at an FAR of 1.0. Although there was not sufficient time for traffic modeling to be performed, trip distribution to understand impacts to intersections was done. Results from this analysis indicate that several intersections would have a decreased LOS under the revised approach, while others would see a minor improvement in LOS.

Green Roofs

There was some discussion from the Council at a previous meeting that incentives for green roofs should be considered for the TL 10 zones. Staff recommends that this concept be looked at as part of the City's Low Impact Development (LID) evaluation from an overall citywide approach, rather than on a piecemeal basis. Since the City will be studying LID this year, staff suggests that the Council refer this idea to the upcoming LID work.

Attachments

1. Topography (TL 10B-TL 10E)
2. SketchUp 3-D Views
3. Watershed Company Report - May 18, 2006

Exhibits

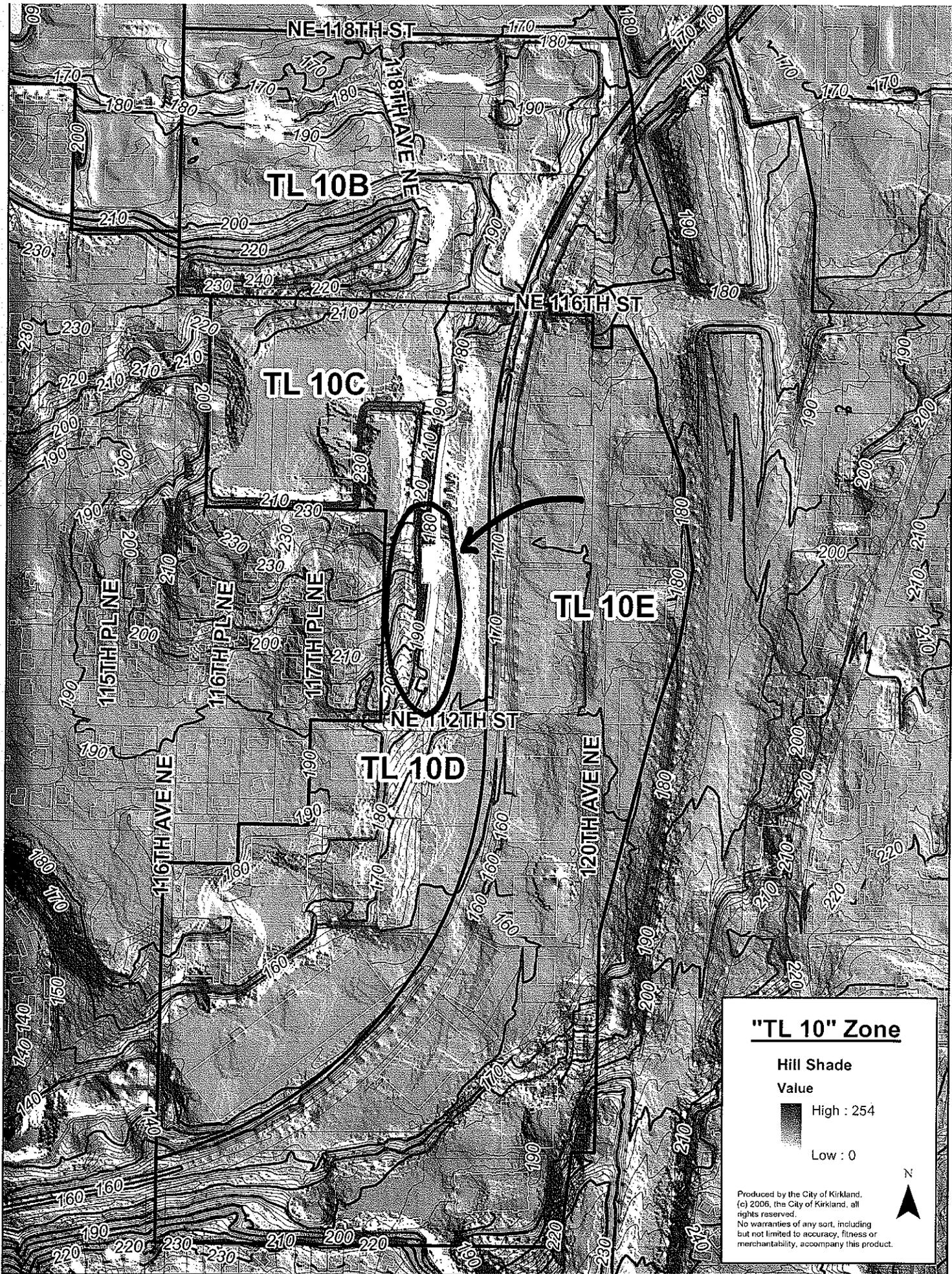
Ordinance 4051 – Zoning Code and Zoning Map Amendments:

- A. Chapter 1 - User Guide
- B. Chapter 5 – Definitions
- C. Chapter 55 – TL 10B Use Zone Chart
- D. Chapter 55 – TL 10C Use Zone Chart
- E. Chapter 55 – TL 10D Use Zone Chart
- F. Chapter 55 – TL 10E Use Zone Chart
- G. Chapter 55 – TL 6 Use Zone Chart
- H. Chapter 60 – Deletion of PLA 11 Use Zone Chart
- I. Chapter 180 – Plate Y 118th Avenue NE R-O-W
- J. Chapter 180 – Plate Z, Stand-Alone Housing Areas
- K. Kirkland Zoning Map

Ordinance 4052– Municipal Code Amendment:

- L. Kirkland Municipal Code (KMC) Design Guidelines for Totem Lake Neighborhood
- M. Kirkland Municipal Code (KMC) Chapter 3.30 Design Review Board

cc: File ZON04-00020
Planning Commission



TL 10B

TL 10C

TL 10E

TL 10D

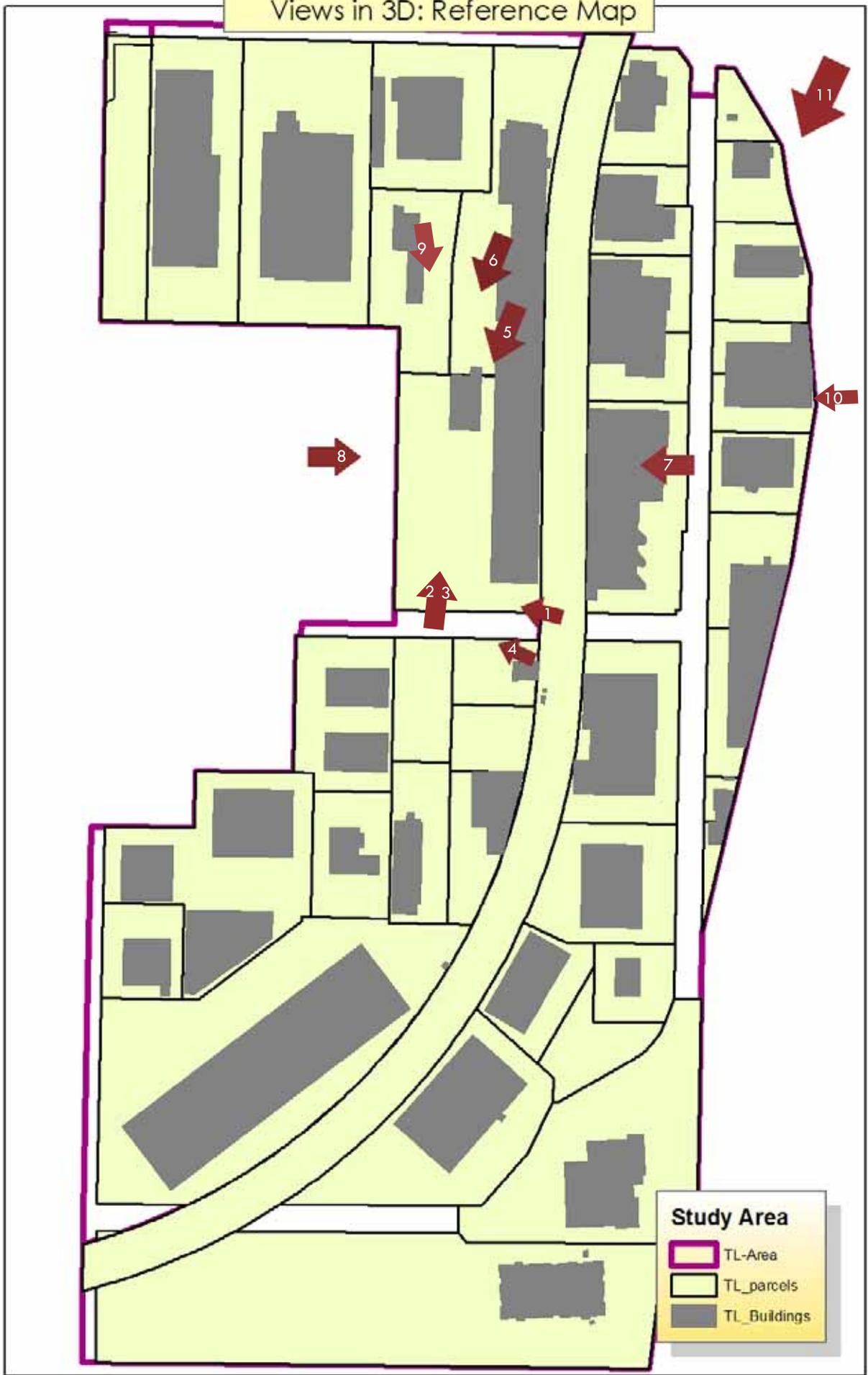
"TL 10" Zone

Hill Shade
Value
High : 254
Low : 0

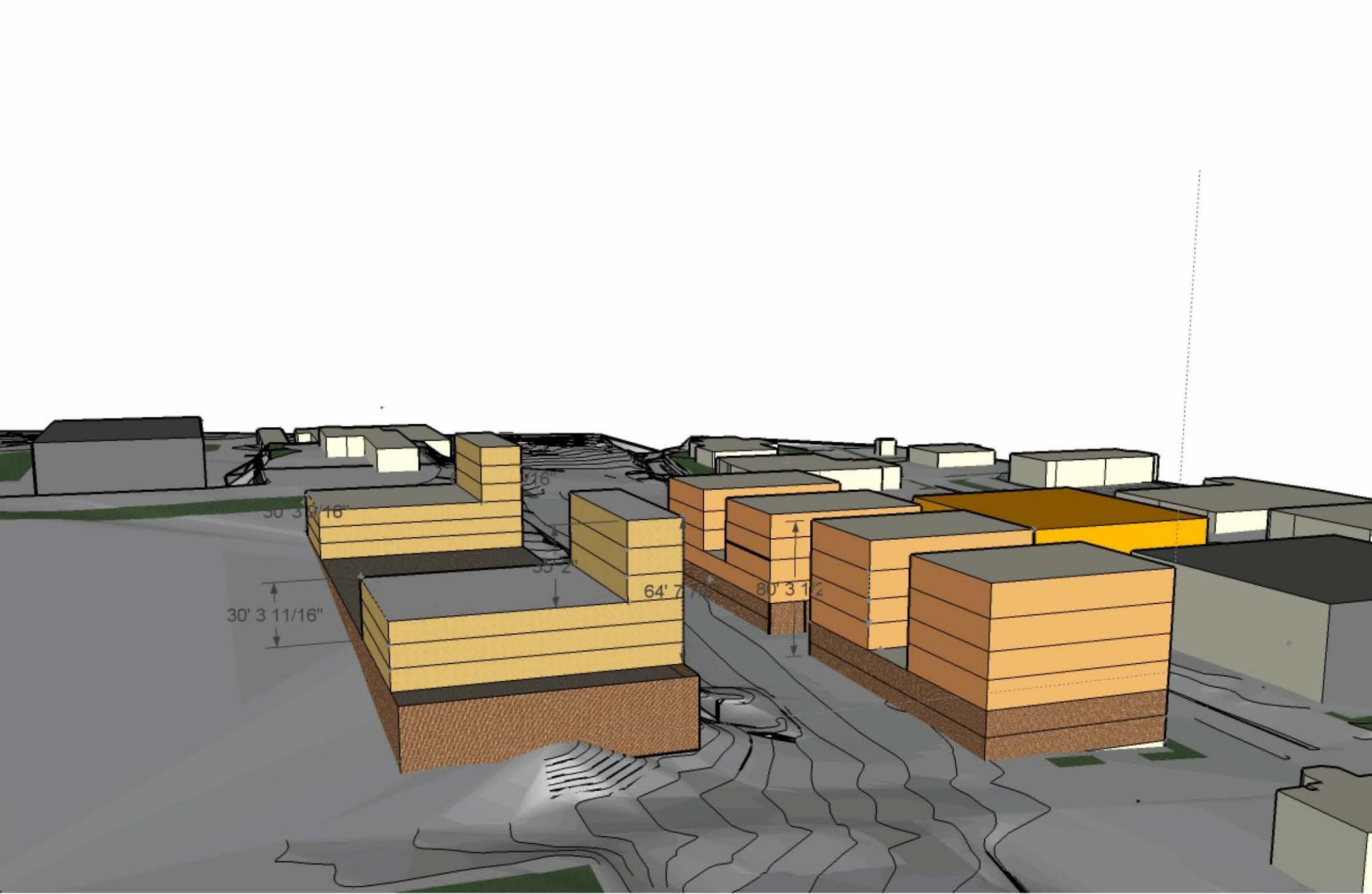
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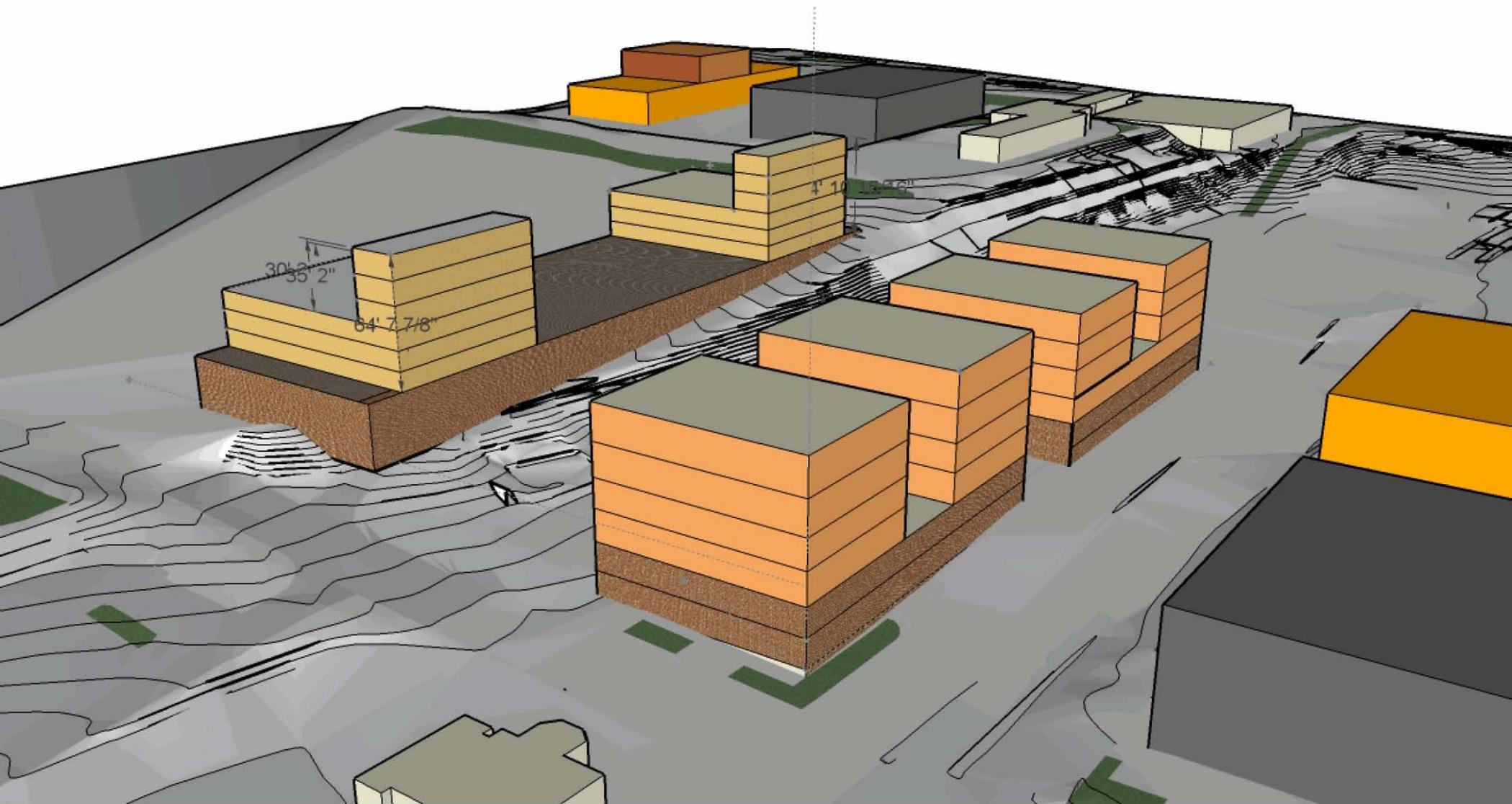
Views in 3D: Reference Map

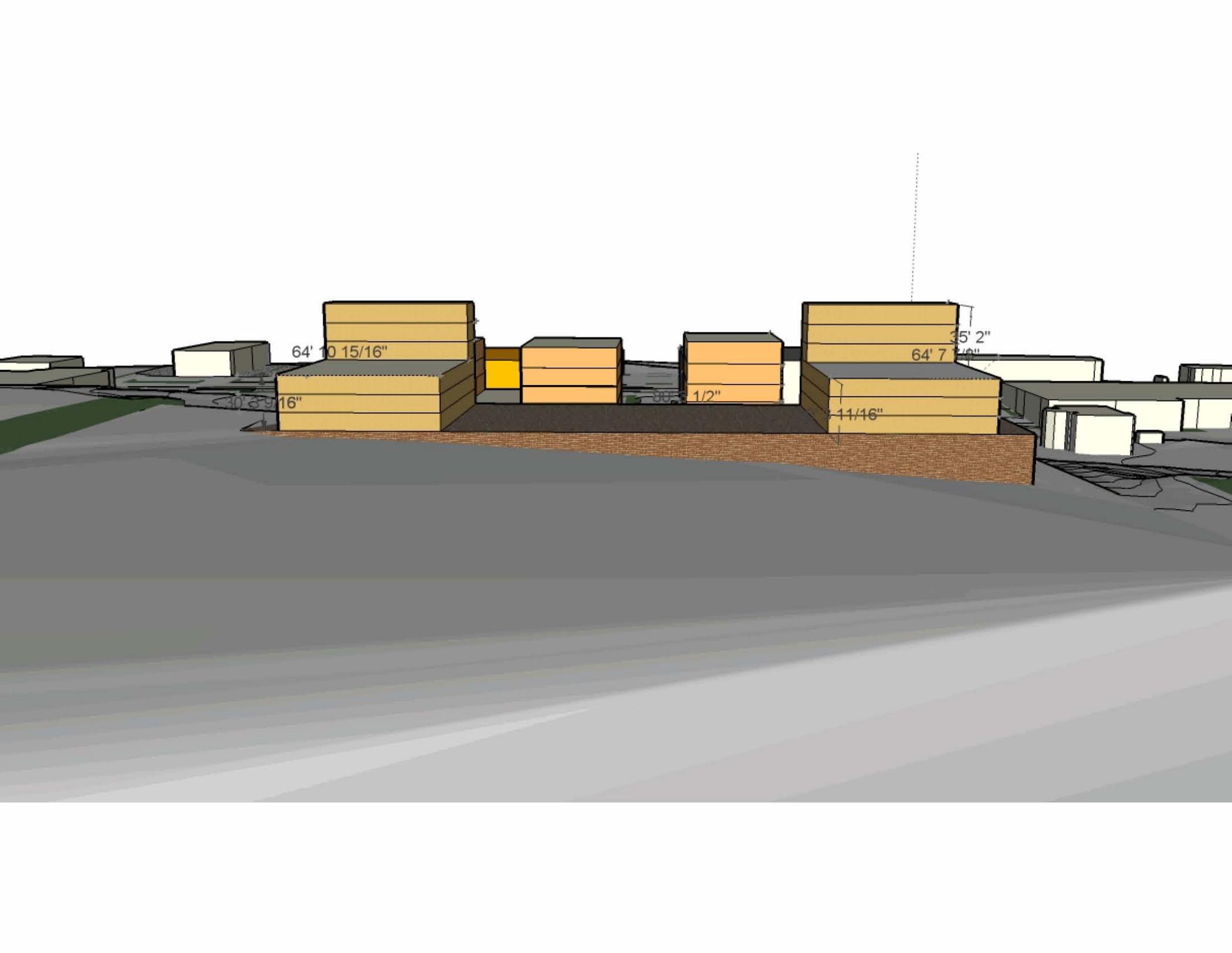












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30' 8 9/16"

16"

80' 1/2"

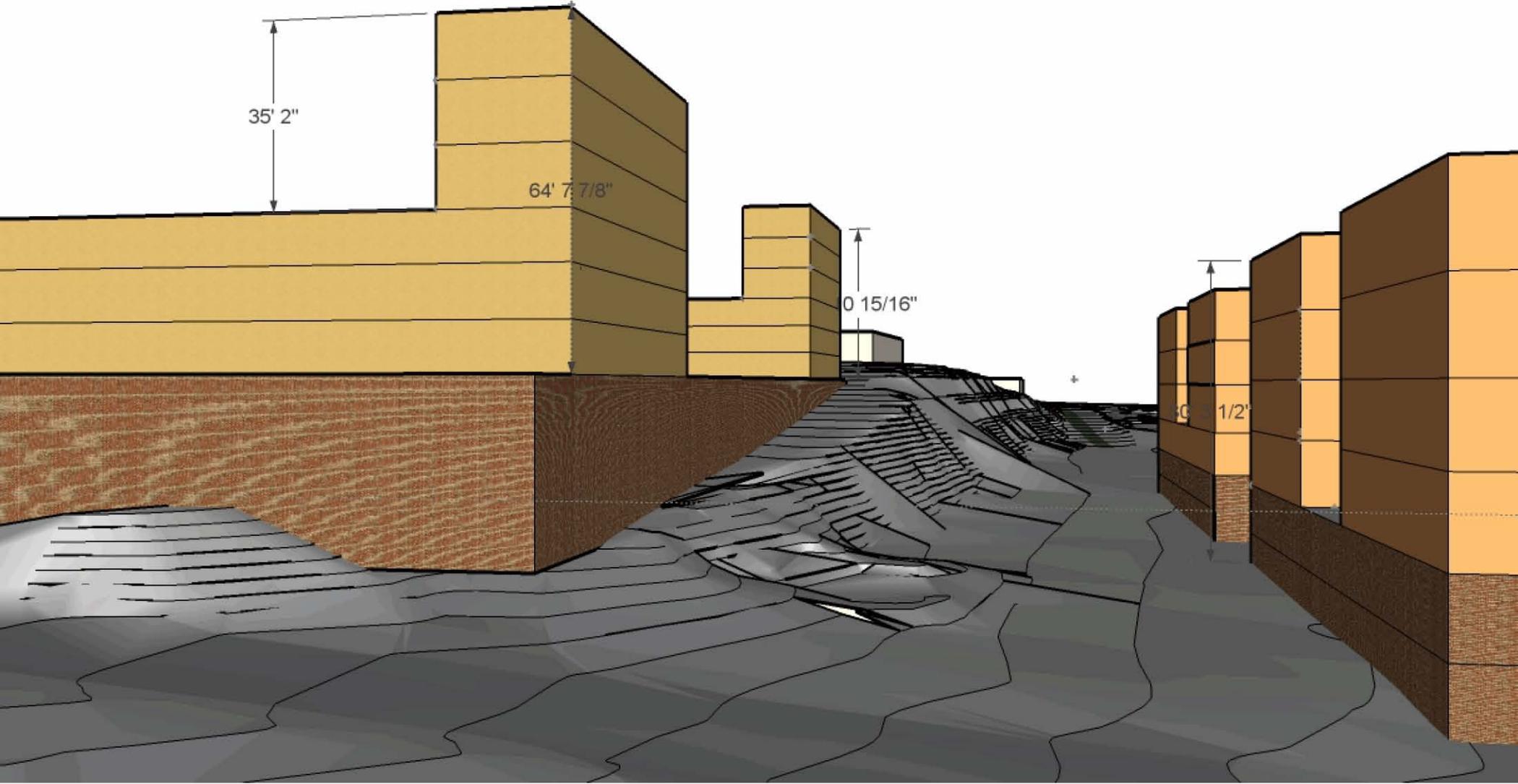
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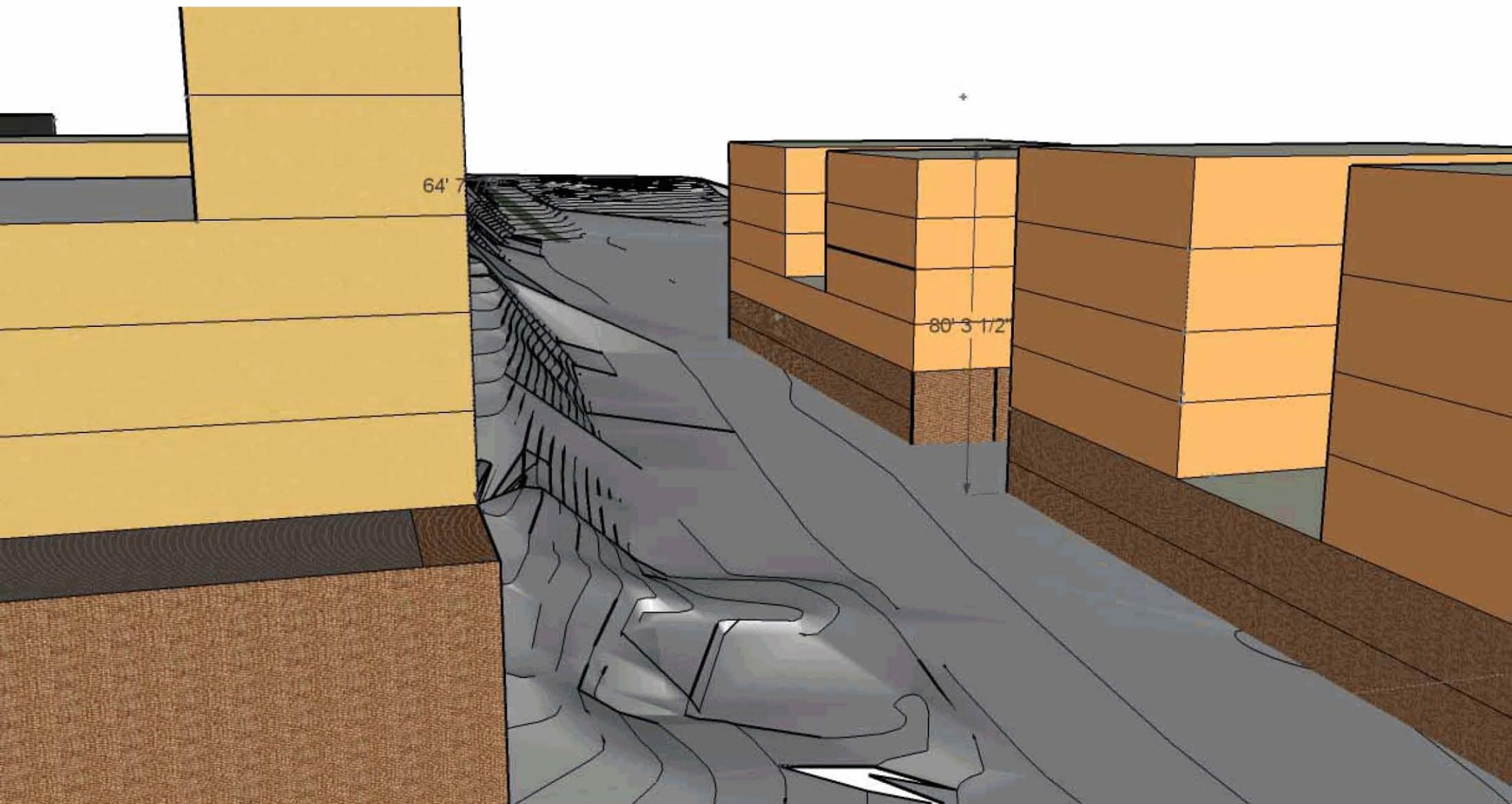
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64' 7 1/16"

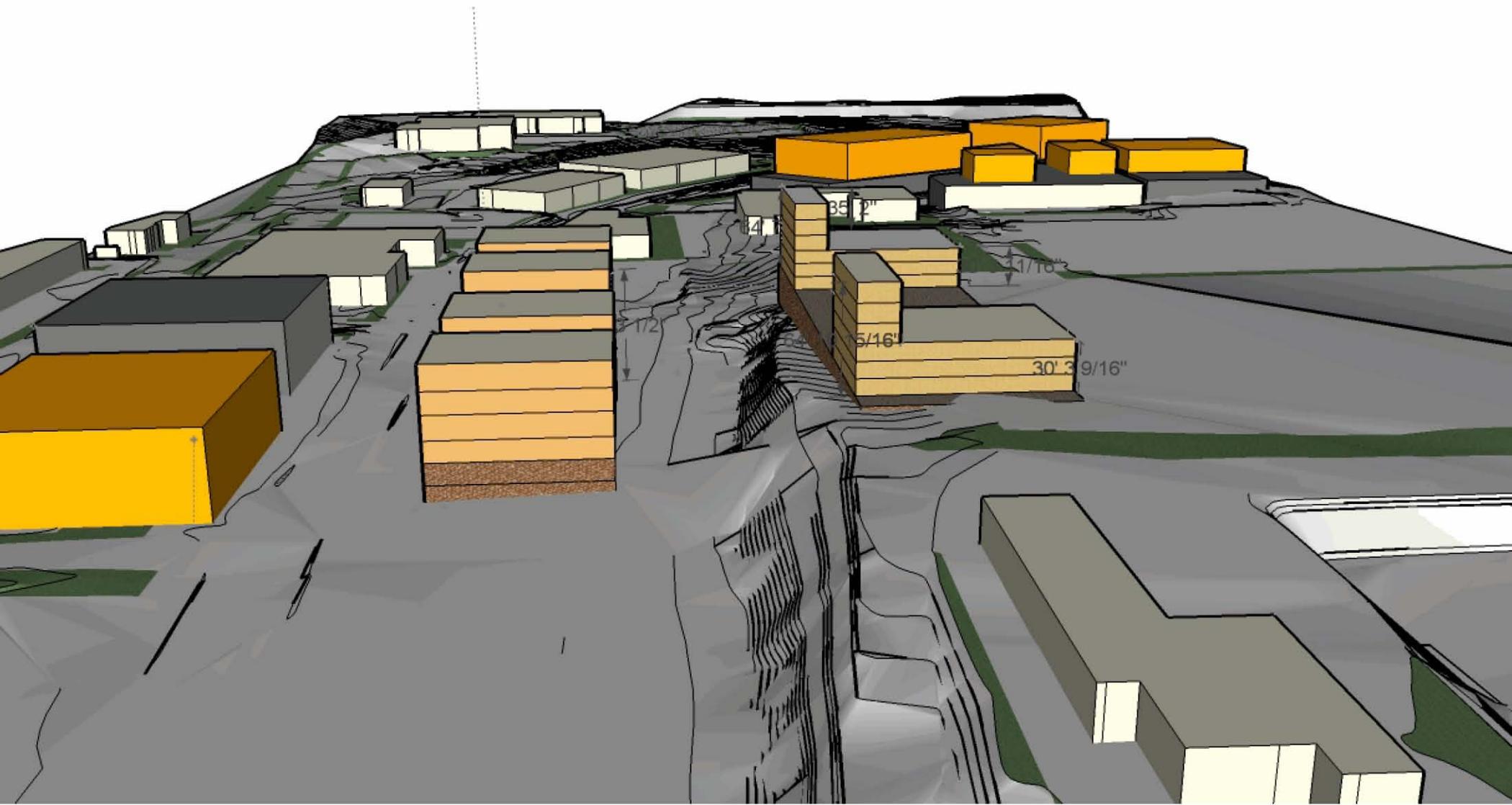
35' 2"

1/16"













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Pointer 47°42'04.35" N 122°10'50.09" W elev 177 ft

Streaming ||||| 100%

Eye alt 784 ft

18 May 2006

Dorian Collins
City of Kirkland Planning
123 – 5th Avenue
Kirkland, WA. 98033

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AM _____ PM
PLANNING DEPARTMENT
BY _____

Dorian:

This letter report assesses potential for improving fish passage in Forbes Creek, with special attention paid to the culverted section under the Airshow parking lot in ParMac Industrial Park. Three alternatives for gaining passage through this segment are evaluated and recommendations are provided. Please note that, due in part to timing constraints, the three alternatives presented are conceptual in nature and the feasibility of any that are selected for further consideration and/or development will need to be verified.

About 1.5 miles from the mouth of Forbes Creek, there is an approximately 300-foot-long culverted stream section that is a barrier to upstream migrating fish and no doubt results in a high likelihood of mortality for any downstream migrants. This culvert goes under the parking lot of the Airshow Properties Building at 10801 120th Avenue NE. While barriers to upstream fish migration located farther downstream have developed over the last twenty years due to high peak flows and resulting channel incision, no barrier has been so intractable.

This segment of Forbes Creek was previously carried within a 36" diameter CMP culvert that dropped 1.5 feet at its outfall into a scour hole (Forbes Creek Restoration Project, survey notes, dated 12/12/77). This 36" diameter culvert is shown on construction plans for METRO's Redmond Interceptor Trunk Sewer construction plans dated July 1969 (see attached). The stream culvert is shown as passing under a 72" diameter trunk sewer with a few feet of clearance. The length, position, and inlet and outlet inverts of the 36" diameter culvert are also shown on these sewer plans.

During a flood event about 10 years ago, the 36" diameter culvert became plugged with debris, resulting in water flooding over the parking lot and eroding large quantities of sediment into the creek. An emergency action resulted in the installation of the present 48" diameter corrugated PVC pipe in the same general location, but with a profile at a somewhat higher elevation than the entombed 36-inch-diameter pipe, perhaps so it could be installed easily in the emergency situation and cross over the top of the sewer line. The inlet on the present culvert has a debris trap that is considerably higher than the previous inlet. A quiescent wedge of fine sediment has since been deposited at the inlet. The downstream end of the present culvert releases flow onto riprap perhaps 12 feet higher than the stream itself. Any restoration design considerations should reference the original culvert, rather than the existing one, since it more closely reflects the original channel profile and associated hydraulic continuity.

Approximately 750' upstream of the culverted section under the Airshow Properties parking lot, along which the creek flows through a forested ravine, is the I-405 culvert crossing. As part of the I-405 Kirkland "Nickel" Project, WSDOT intends to install a fish-passable replacement culvert under the highway. Kirkland's Public Works Department is also working on resolving other smaller-scale fish passage issues along Forbes Creek. Other barriers that have developed include the remains of a small dam near Forbes Creek Drive and a failing culvert at the METRO access road. Remedy of all of these barriers would allow upstream and downstream passage of several salmonid fish species from Lake Washington to Forbes Lake and possibly including several other tributaries upstream of I-405.

Various alternatives exist for providing fish passage through the Airshow parking lot. All daylighting options raise the questions of acceptable benefits vs. costs, the type and quality of the habitat that would be created and available, what the appropriate regulatory buffer should be and other the issues associated with physically encumbering private property. The standard buffer width from the ordinary high water mark (OHWM) on Forbes Creek is 75 feet, with an additional 10-foot building setback (KZC Section 90.90(1) and (2)). Assuming a channel toe width of 15', a corridor width of some 185' would result if the standard regulatory buffer is applied. Given the current condition of the stream and the burden placed on private property by the application of a full regulatory buffer to the restored stream, consideration should be given to buffer reduction allowances to reduce the current disincentive associated with daylighting culverted streams.

Three alternatives have been identified for gaining fish passage:

- I. Wrap-Around Open Channel. Construction of a new open channel through the southern portion of the existing parking lot that hugs the toe of the existing hillside to the south and then wraps around the western end of the parking lot, where it connects with an existing stormwater conveyance channel that will need to be improved and which enters the downstream channel just upstream of the railroad crossing.
- II. Direct Open Channel. Opening the channel up in part or fully in the general alignment of the existing culvert.
- III. Fish-Passable Structure. Installing a larger and enclosed fish-passable structure in the general alignment of the existing culvert.

There are a number of pluses and minuses to each alternative including cost, aesthetics, maintenance requirements, and tradeoffs between public benefit and private encumbrance.

Alternative #1: This wrap-around daylight option was initially pursued by WSDOT for I-405 Kirkland "Nickel" mitigation instead of standard on-site mitigation (Forbes Creek Watershed Opportunities, WSDOT, 7/9/04). The notion was to daylight this segment instead of under I-405, in combination with off-site surface detention. WSDOT decided not to pursue this option due to cost, realization that there was inadequate area for preferred surface detention needed to justify the project, concerns about geologic risks and costs associated with disturbing the hillside to the south,

concerns that project costs did not justify what was perceived to be the limited benefits of the available habitat, and concerns that a 72" diameter METRO sanitary sewer trunk line precluded its path. What follows are pluses and minuses of this alternative:

- + Does not appear to disrupt the existing physical connection between the building and the parking lot but area consumed in sideslopes and channel is considerable.
- + This option provides fish passage and the largest increase in the amount of new open channel and the resulting fish and wildlife habitat.
- In reviewing the construction drawings for the sewer line, it appears that the sewer line is at critical elevation and routing the restored stream over or under the line may not be feasible. The WSDOT study concluded the same.
- Steep and unstable slopes already occur to the south and an additional cut would need to be made and reinforced some 25' below these slopes. Additional shoring would be required along the north edge of the open channel adjacent to the parking lot. The cost associated with shoring for these cuts would be substantial and the potential risks to slope stability from cutting into the toe of the slope to the south should not be underestimated.
- Costs associated with construction of the large length of open channel, relocation of the existing stormwater pond and improvement of the existing conveyance ditch to accommodate the increased flows would also be substantial and would likely be the highest of the three options analyzed.

Alternative #2: Daylight the stream in part or fully in the general alignment of the culvert.

- + This alternative utilizes the shortest distance between two points, while providing fish passage, and therefore encumbers the least area with the resulting physical limitation on use and restrictions associated with any regulatory buffer.
- + Profile matches historic channel of 3% slope, which is useable by coho salmon and cutthroat trout, without hydraulic disruption.
- + This option would include a fish-passable culvert to provide access under the 72" sewer line, which would also provide access from the existing or future building and site driveway to the parking area. While this design feature would need to be studied further, it appears feasible and a concept plan is provided as an attachment.
- + This option would avoid disruption and relocation of the existing stormwater pond and conveyance west of the parking lot.
- + Redevelopment options could include buildings and underground parking on each side of the proposed channel, with an access drive on the fish-passable culvert to service the second

building. The attached concept plan includes a 25-foot flat surface that could serve as a two-way driveway.

- The proposed channel alignment would cut through the central portion of the developed site between the existing commercial building and the western two-thirds of the parking lot, imposing a significant physical and regulatory site development constraint on the property owner.
- This option may require a code text amendment or other regulatory consideration to limit impact on current and future owners. In lieu of encumbering the property with the full regulatory buffer from OHWM once the stream is daylighted, we suggest simply encumbering the channel and a 3:1 or 2:1 sideslope and perhaps a vertical wall on each end of road entry culvert in a protective conservation easement.

Alternative #3: Fish passage structure that is open cut and covered over to allow access and parking over the top, but not building construction.

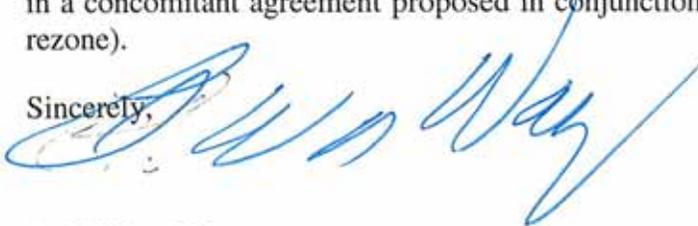
- + Achieves fish passage.
- + Does not present a significant disruption to current use of the site and future use as a parking lot, except during short-term construction.
- + The WSDOT design on I-405 crossing could potentially be used as a design template.
- + There would be no issue of buffer encumbrance because the stream would not be daylighted and the current zoning code does not appear to require a buffer from piped segments (i.e. "surface waters", Stream definition, KZC Section 19.30).
- The fish passage structure would need to be tall enough for maintenance workers to walk through, however it does not appear that such a structure would have clearance under the existing 72-inch-diameter sanitary sewer line.
- This option provides virtually no aesthetic benefits over the current condition, unlike the other two options, and habitat benefits would be limited to fish passage.
- Long-term monitoring and maintenance obligations to clear obstructions, ensure safe conveyance and provide adequate fish passage would be significant for this option and would be the highest of the three options considered.
- Provides only passage, no spawning and virtually no rearing habitat would be provided in the 300-foot, fish-passable structure.

The Fish-Passable Structure Alternative appears to have a major design problem because there does not appear to be adequate clearance to place the needed structure under the 72" diameter trunk sewer. Shorter culverted stream sections, like those included in Alternative #2, do not need to be as tall, and thus can be accommodated under the trunk sewer. The sewer line also appears to raise serious doubts about the viability of the Wrap-Around Open Channel Alternative. Additional, significant challenges with this alternative include the risks and costs associated with excavation adjacent to the south hillside and relocation of the existing stormwater pond.

While the Wrap-Around Open Channel Alternative, which does not bisect the developed site, appears on first blush to result in less of a physical barrier and regulatory burden on private property, the Direct Open Channel Alternative appears to actually consume less of the existing developed site area. In addition to resolving the issue of getting the day lighted stream under the 72-inch sewer line, the fish passable culvert included in Alternative #2 would also allow vehicular access to the western portion of the existing parking lot, thereby preserving the contiguous nature of the site. Looking to the future, potentially a second building with parking beneath could be developed on the western portion of the site if or when the building site to the east is redeveloped in a manner that does not require as much surface parking. Existing information indicates that this parking area is currently underutilized (Kirkland Stream Inventory and Habitat Evaluation Report, Forbes Creek Project Summary Sheet, page 1). The length of culverts, size of open channel sections, and regulatory requirements applied in Alternative #2 could be further refined to strike an appropriate balance between habitat benefits and the imposition of site development and regulatory constraints on the private property owner. The concept design we have provided as an attachment to this report would consume roughly 25,000 sq. ft. of the current developed site area. The total lot area of the parcel is 333,669 sq. ft. In summary, based on our preliminary analysis, we believe that the Direct Open Channel is the preferred alternative.

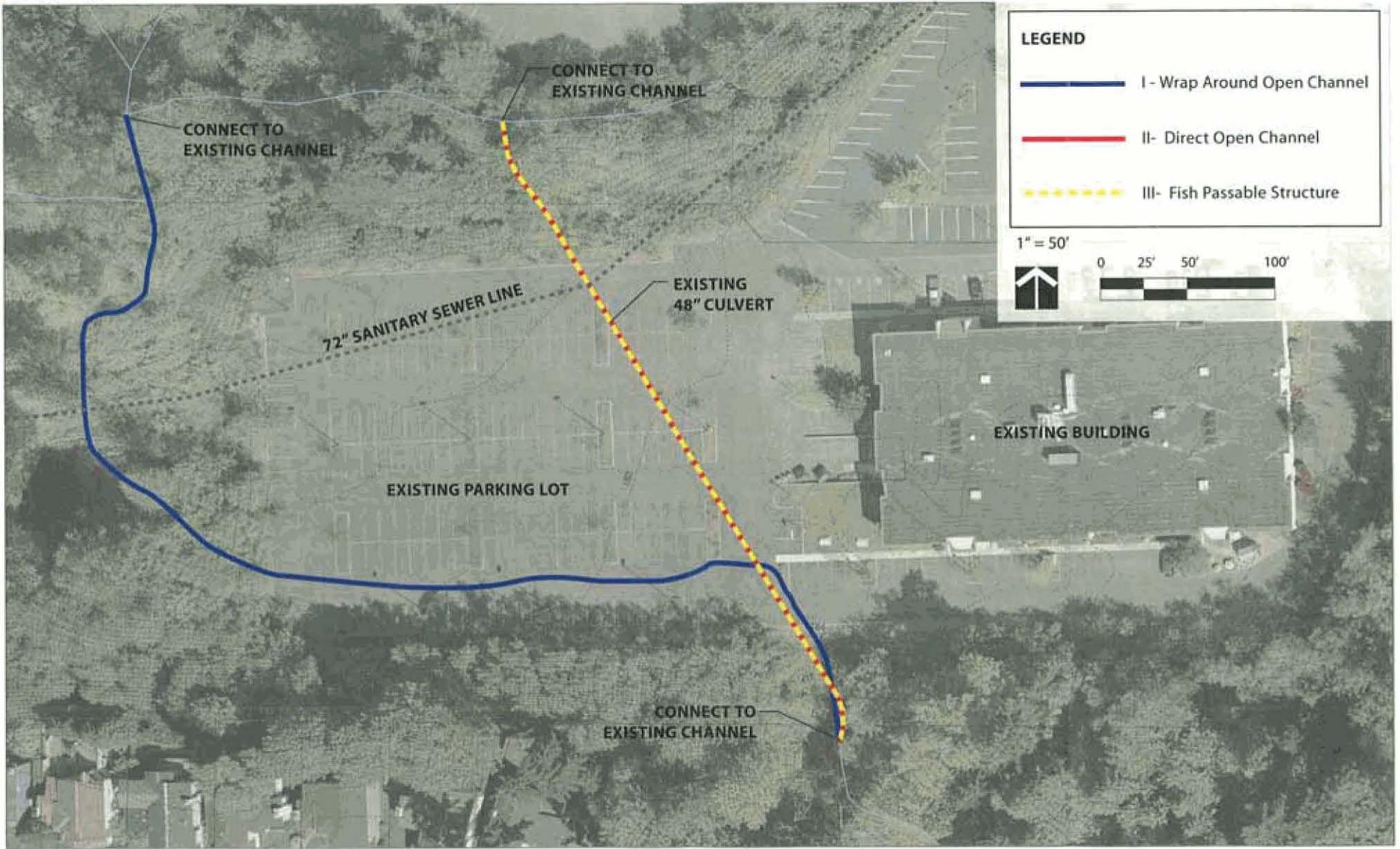
Given that this is private, commercially-zoned property, there may be a limited window of opportunity when the private property owner may wish to re-develop, and that opportunity may be in the near term. Alternatives should be pursued and flexibility afforded the owner in order to attempt a win-win partnership. Significant costs and burdens associated with restoration can be made more acceptable when an increase in site development potential or intensity is concurrently allowed. The City could potentially explore including a required restoration plan for Forbes Creek in a concomitant agreement proposed in conjunction with a future rezone of the property (contract rezone).

Sincerely,



A. William Way
President

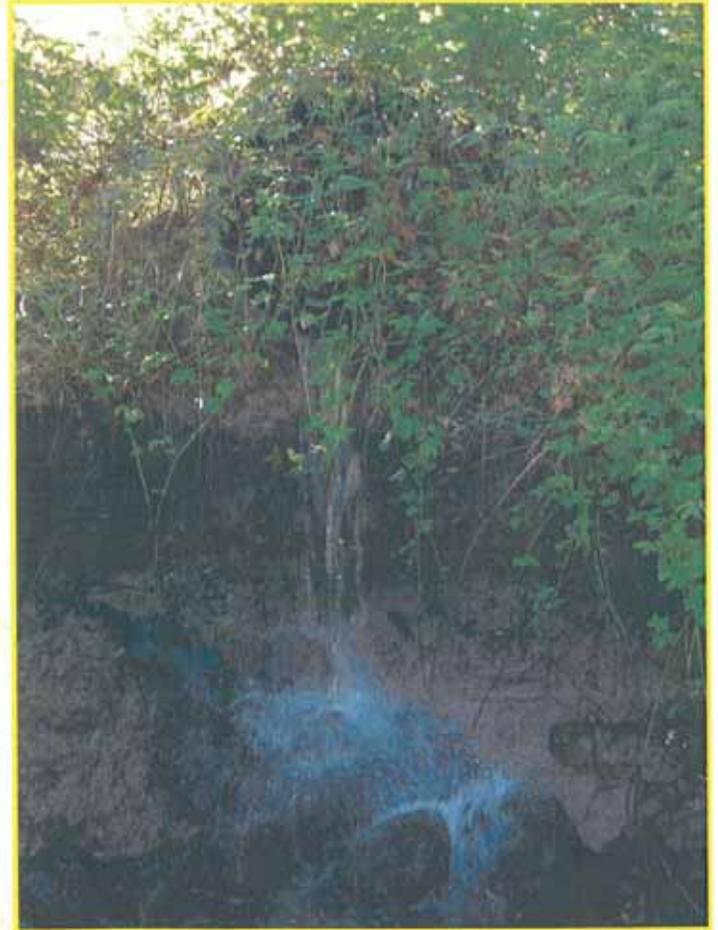
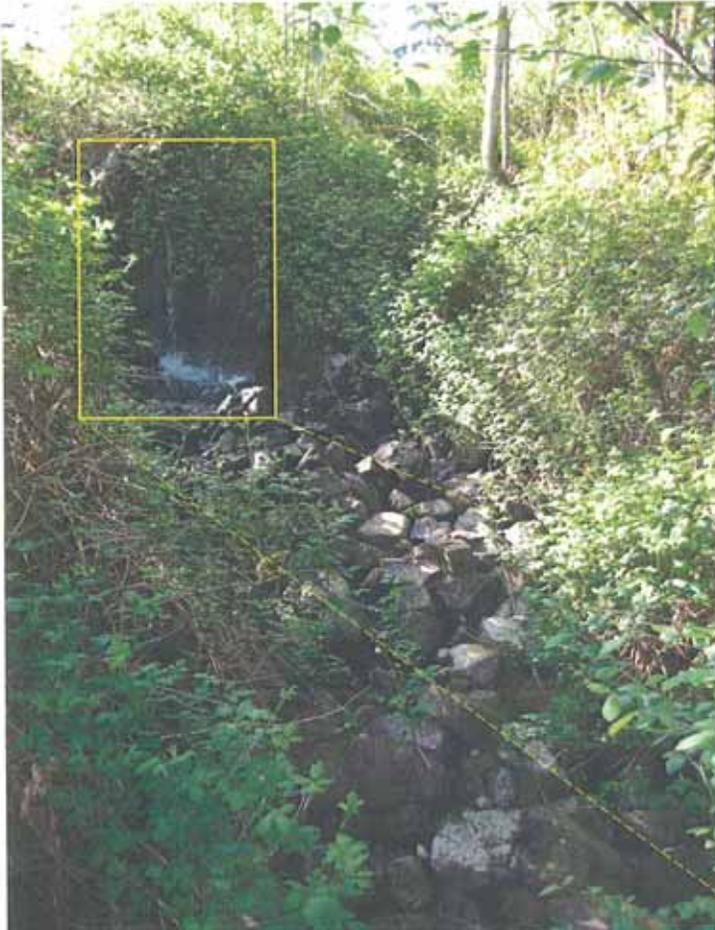
Enclosures



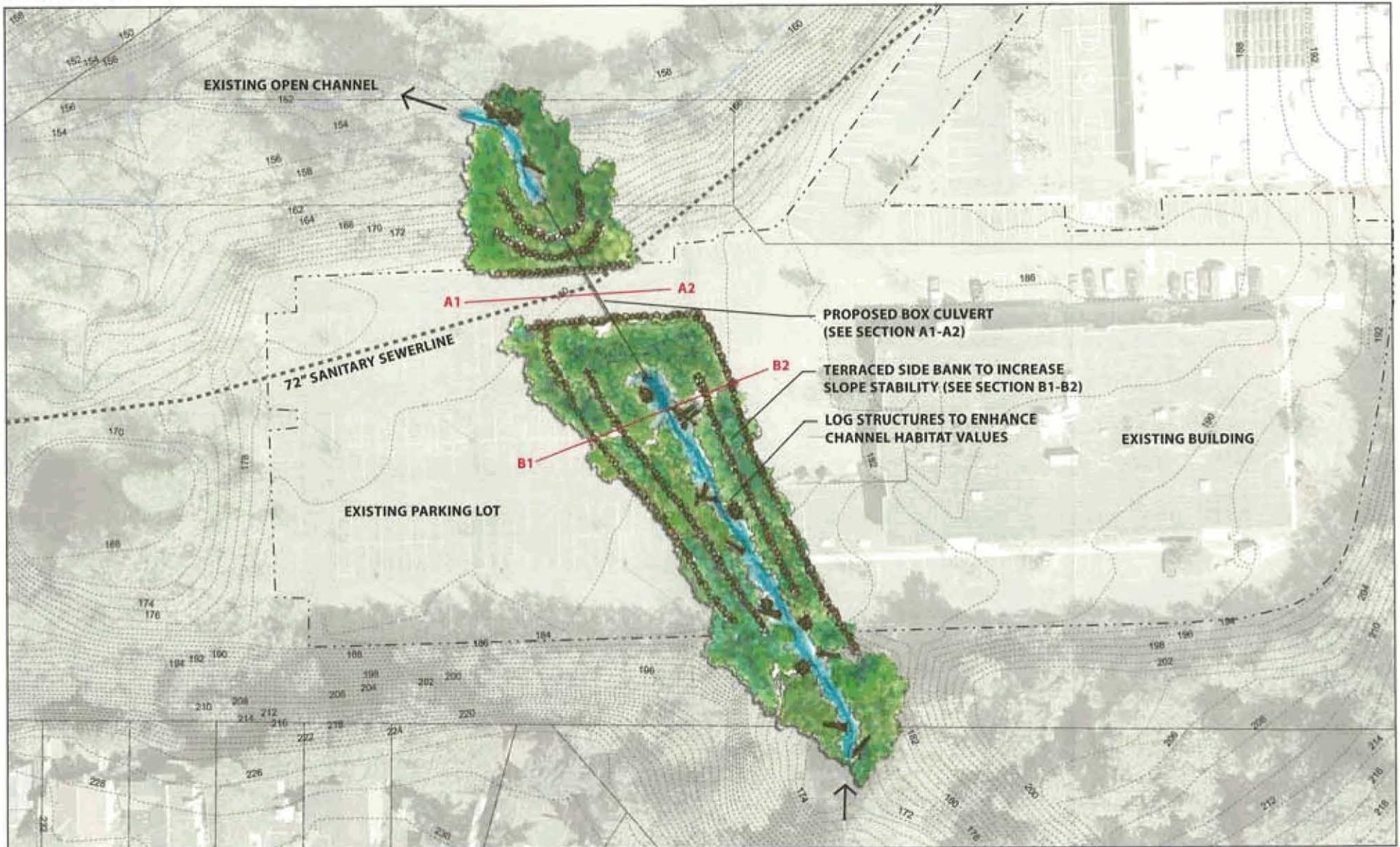
FORBES CREEK DAYLIGHTING: **SITE PHOTOS**

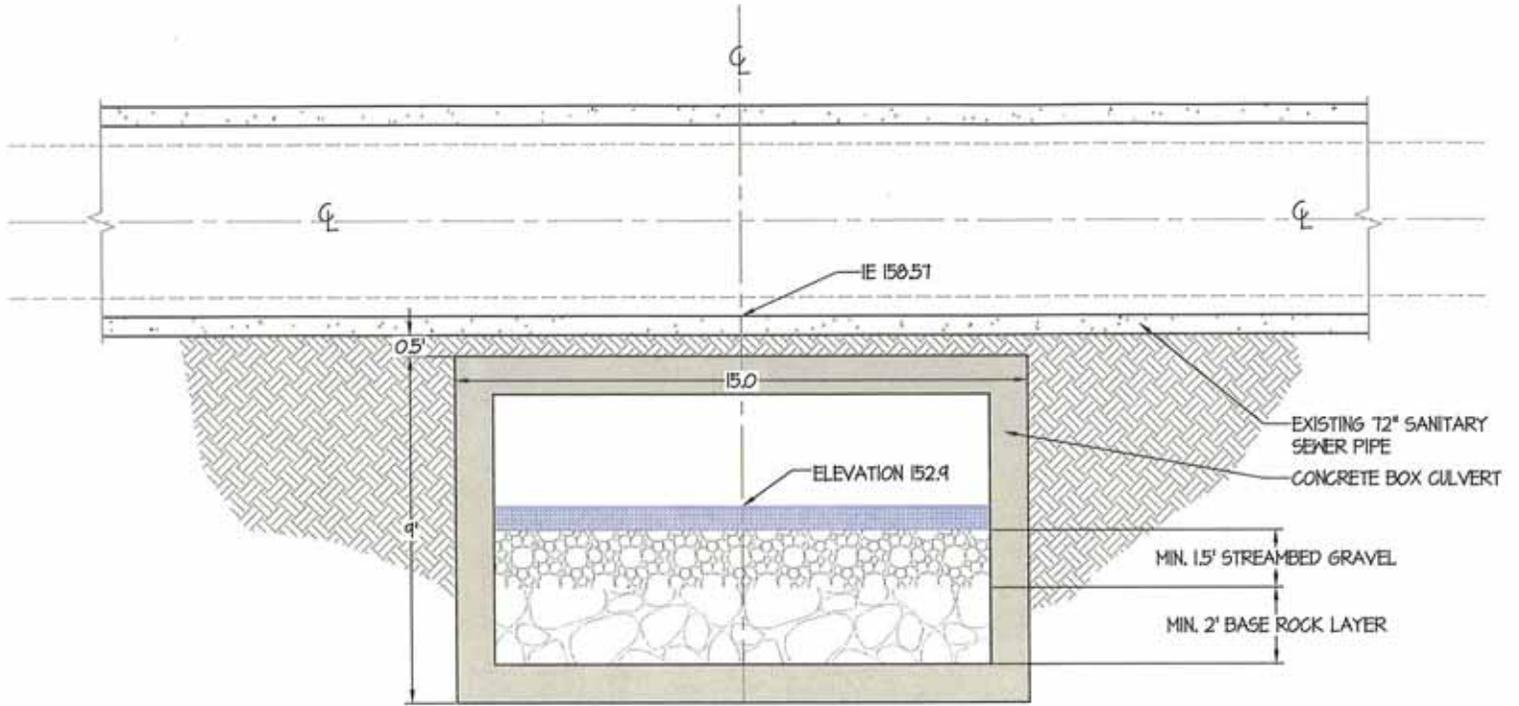


POOL ABOVE DEBRIS CLOGGED INLET - LOOKING DOWNSTREAM / WEST (4/21/04)



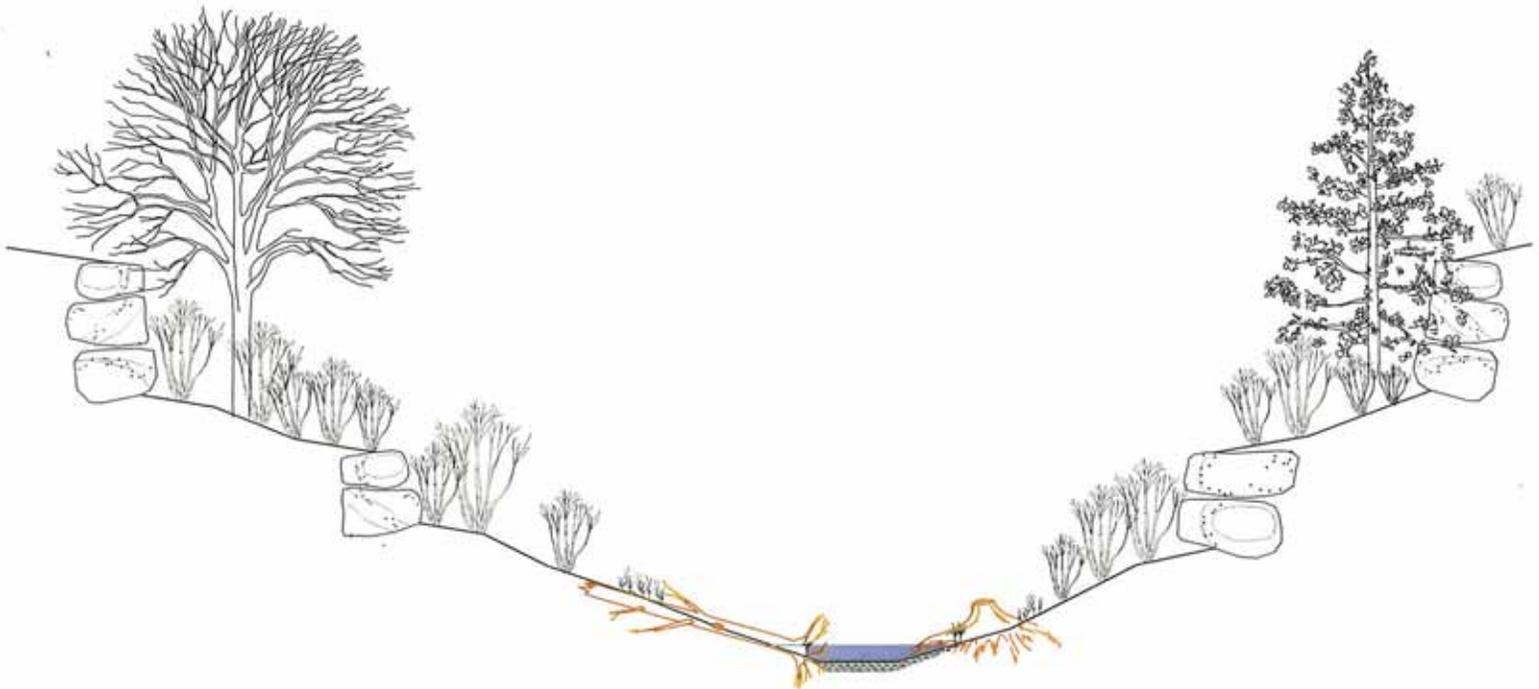
PLUNGE BELOW 350' CULVERT - LOOKING UPSTREAM / EAST (4/21/04) PLUNGE CLOSE-UP





SECTION AI-A2

SCALE 1"=5'



SECTION BI-B2

SCALE 1"=1'

ORDINANCE NO. 4051

AN ORDINANCE OF THE CITY OF KIRKLAND RELATING TO ZONING, PLANNING AND LAND USE, AMENDING CHAPTERS 1, 5, 55, 60 and 180 OF ORDINANCE 3719 AS AMENDED, THE KIRKLAND ZONING ORDINANCE (TITLE 23 OF THE KIRKLAND MUNICIPAL CODE), AND AMENDING ORDINANCE 3710 AS AMENDED, THE KIRKLAND ZONING MAP (FILE NO. ZON04-00020).

WHEREAS, the City Council has received from the Kirkland Planning Commission a recommendation to amend certain sections of the text of the Kirkland Zoning Code, Ordinance 3719 as amended, all as set forth in that certain report and recommendation of the Planning Commission dated December 15, 2005, and bearing Kirkland Department of Planning and Community Development File No. ZON04-00020; and

WHEREAS, prior to making the recommendation the Planning Commission, following notice thereof as required by RCW 35A.63.070, on October 27, 2005, held a public hearing on the amendment proposals and considered the comments received at said hearing; and

WHEREAS, pursuant to the State Environmental Policy Act (SEPA), there has accompanied the legislative proposal and recommendation through the entire consideration process, a SEPA Addendum to existing environmental documents issued by the responsible official pursuant to WAC 197-11-600; and

WHEREAS, in regular public meeting the City Council considered the environmental documents received from the responsible official, together with the report and recommendation of the Planning Commission.

NOW, THEREFORE, the City Council of the City of Kirkland do ordain as follows:

Section 1. Zoning text amended: The following specified sections of the text of Ordinance 3719 as amended, the Kirkland Zoning Code (Title 23 of the Kirkland Municipal Code) are amended to read as follows:

- A. Chapter 1. User Guide:
Text amendments to Section 1.05 to add references to new TL 10B, TL 10C, TL 10D and TL 10E zones, and to delete the reference to PLA, 11, as shown in Exhibit A attached to this ordinance and incorporated by reference.
- B. Chapter 5 Definitions:
Text amendments to Sections 5.10.595 and 5.10.960 as shown in Exhibit B attached to this ordinance and incorporated by reference.
- C. Chapter 55 Totem Lake (TL) Zones:
Text amendments to add new Use Zone Charts for TL 10B, TL 10C, TL 10D and TL 10E, as shown in Exhibits C-F attached to this ordinance and incorporated by reference.
Text amendment to revise text in General Regulations for TL 6B, as shown in Exhibit G.

D. Chapter 60 Planned Area 12: Delete the PLA 11 Use Zone Chart, as shown in Exhibit H.

E. Chapter 180 Plates
Text amendments to add Plates Y and Z, as shown in Exhibit I and J attached to this ordinance and incorporated by reference.

Section 2. Zoning Map amended: The following specified zones of the Ordinance 3710 as amended, the Kirkland Zoning Map, are amended as follows:

To add new TL 10B, TL 10C, TL 10D and TL 10E zoning categories and delete the PLA 11 zoning designation on the zoning map, as set forth in Exhibit K which by this reference is incorporated herein.

Section 3. If any section, subsection, sentence, clause, phrase, part or portion of this ordinance, including those parts adopted by reference, is for any reason held to be invalid or unconstitutional by any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this ordinance.

Section 4. This ordinance shall be in force and effect five days from and after its passage by the City Council and publication pursuant to Section 1.08.017, Kirkland Municipal Code in the summary form attached to the original of this ordinance and by this reference approved by the City Council.

Section 5 A complete copy of this ordinance shall be certified by the City Clerk, who shall then forward the certified copy to the King County Department of Assessments.

PASSED by majority vote of the Kirkland City Council in open meeting this _____ day of _____, 2006.

SIGNED IN AUTHENTICATION THEREOF this _____ day of _____, 2006.

Mayor

Attest:

City Clerk

Approved as to Form:

City Attorney

Chapter 1 – USER GUIDE

Sections:

[1.05](#) How To Use This Code

[1.10](#) Additional Regulations

1.05 How To Use This Code

This code has been designed and drafted to make it as easy as possible for the user to determine all land use regulations that apply to a particular piece of property and to uses, structures, and activities on that piece of property. Follow the step-by-step procedure laid out below to find applicable regulations.

1. Find the subject property on the Zoning Map. The subject property will be within one of the following use zones sequentially listed:

RS	BC	JBD 1	NRH6	ILC
RSX	BCX	JBD 2	TL 1A	PLA 9
RM	LIT	JBD 3	TL 1B	TL 4B
PR	P	JBD 4	TL 2	TL 4C
PO	CBD 1	JBD 5	TL 3	PLA 14
WD I	CBD 2	JBD 6	TL4A	PLA 15
WD II	CBD 3	NRH1A	PLA 1	PLA 16
WD III	CBD 4	NRH1B	PLA 2	PLA 17
	CBD 5	NRH2	PLA 3	PLA 17A
	CBD 6	NRH3	PLA 5	RH 1A
FC 1		PLA 8	PLA 10	PLA 14
FC III	CBD 7	NRH4	PLA 6	RH 1B
BN	CBD 8	NRH5	PLA 7	RH 2A
RH 2B	RH 2C	RH 3	RH 4	RH 5A
RH 5B	RH 5C	RH 7	RH 8	TL 5
TL 6A	TL 6B	TL 7	TL 8	TL 10A
<u>TL 10B</u>	<u>TL 10C</u>	<u>TL 10D</u>	<u>TL 10E</u>	TL 11

2. Refer to the text of this code and find the chapter that corresponds to the use zone in which the subject property is located.
3. Each of these use zone chapters contains a series of charts. Read down the first vertical column of each chart to find the use in which you are interested. In some zones, certain uses are listed specifically (e.g., “Retail variety or department store” in Neighborhood Business Zones). In other zones, uses are listed generally (e.g., “Any retail establishment ... selling goods or providing services...” in Community Business Zones). In many cases, the general listing encompasses what could otherwise be numerous separate uses.

Uses and activities that fall under the definition of “adult entertainment use or activity” are not permitted except as allowed in Chapter [72](#) KZC.

Chapter 5 – DEFINITIONS – Revised 05-06

Sections:

[5.05](#) User Guide

[5.10](#) Definitions

.145 Commercial Zones – The following zones: BN; BC; BCX; CBD; JBD 1; JBD 2; JBD 4; JBD 5; JBD 6; NRH 1A; NRH 1B; NRH 4; RH 1A, RH 1B, RH 2A, RH 2B, RH 2C, RH 3, RH 5A, RH 5B, RH 5C, RH 7, TL 2, TL 4A, TL 4B, TL 5, TL 6A, TL 6B and TL 8.

.475 Linear Frontage of Subject Property – The frontage of the subject property adjacent or parallel to all open improved public rights-of-way. Frontage adjacent to I-405 is not applicable except for properties within TL 4A and TL 6B (east of 116th Avenue NE) and. If the subject property does not have frontage on an open improved right-of-way, the frontage of any public access easements which serve the subject property and unopened rights-of-way which front on the subject property is the linear frontage of the subject property.

.400 Industrial Zones - .The following zones: LIT; PLA 6G; and TL 7.

.595 Office Zones – The following zones: PO; PR 8.5; PR 5.0; PR 3.6; PR 2.4; PR 1.8; JBD 3; PLA 3A; PLA 5B, C; PLA 6B; PLA 44; PLA 15A; PLA 17A, FC III; NRH 2; NRH 3; NRH 5; NRH 6; RH 4, RH 8, TL 1A, TL 10A, TL 10B, TL 10C, TL 10D, and TL 10E.

.785 Residential Zone – The following zones: RS 35; RSX 35; RS 12.5; RSX 12.5; RS 8.5; RSX 8.5; RS 7.2; RSX 7.2; RS 5.0; RSX 5.0; RM 5.0; RM 3.6; RM 2.4; RM 1.8; WD I; WD II; WD III; PLA 2; PLA 3B; PLA 5A, D, E; PLA 6A, C, D, E, F, H, I, J, K; PLA 7A, B, C; PLA 9; PLA 15B; PLA 16; and PLA 17 and TL 11.

.960 Use Zone – The zoning designations on the Zoning Map as follows:

RS 35		NRH 1A	PLA 6C
RSX 35		NRH 1B	PLA 6D
RS 12.5	FC III	NRH 2	PLA 6E
RSX 12.5		NRH 3	PLA 6F
RS 8.5	BN	NRH 4	PLA 6G
RSX 8.5	BC	NRH 5	PLA 6H
RS 7.2	BCX	NRH 6	PLA 6I
RS 5.0			PLA 6J
RSX 5.0	LIT	TL 1A	PLA 6K
	P	TL 1B	PLA 7A
RM 5.0		TL 2	PLA 7B

RM 3.6	CBD 1	TL 3	PLA 7C
RM 2.4	CBD 2	TL 4A	PLA 9
RM 1.8	CBD 3	TL 4B	TL 7
	CBD 4	TL 4C	TL 8
WD I	CBD 5	PLA 1	TL 10A
WD II	CBD 6	PLA 2	<u>TL 10B</u>
WD III	CBD 7	PLA 3A	<u>TL 10C</u>
	CBD 8	PLA 3B	<u>TL 10D</u>
PR 8.5		PLA 5A	<u>TL 10E</u>
PR 5.0	JBD 1	PLA 5B	PLA 15A
PR 3.6	JBD 2	PLA 5C	PLA 15B
PR 2.4	JBD 3	PLA 5D	PLA 16
PR 1.8	JBD 4	PLA 5E	PLA 17
	JBD 5	PLA 6A	PLA 17A
PO	JBD 6	PLA 6B	TL 11
RH 1A	RH 3	RH 7	PLA 8
RH 1B	RH 4	RH 8	PLA 10A
RH 2A	RH 5A	TL 5	PLA 10B
RH 2B	RH 5B	TL 6A	PLA 10C
RH 2C	RH 5C	TL 6B	PLA 11

TL 10B USE ZONE CHART

55 User Guide.

The charts in KZC 55.152 contain the basic zoning regulations that apply in TL 10B. Use these charts by reading down the left hand column entitled Use. Once you locate the use in which you are interested, read across to find the regulations that apply to that use.

Section 55.150 TL 10B

Section 55.150 – GENERAL REGULATIONS

The following regulations apply to all uses in this zone unless otherwise noted:

1. Refer to Chapter 1 KZC to determine what other provision of this code may apply to the subject property.
2. If any portion of a structure is adjoining a low density zone, then either:
 - a. The height of that portion of the structure shall not exceed 20 feet above average building elevation, or
 - b. The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width.

See KZC 115.30, Distance Between Structures Regarding Maximum Horizontal Facade Regulation, for further details.
3. The ability to accommodate new development in the TL 10B zone is dependent upon the extension of 118th Avenue NE to NE 116th Street as shown on Plate Y, Chapter 180, KZC. Consistent with and to the extent authorized by applicable statutes and court decisions, new development on properties across which this street in whole or in part extends, shall contribute to the creation of the street as follows:
 - a) With all new development, the portions of this street crossing the subject property shall be dedicated as public right of way consistent with Plate Y, and
 - b) With all new development exceeding 35 feet in height, the street shall be improved as determined by the Public Works Director. Minor deviations in the location and width of the street may be approved by the Public Works Director if the deviations will not negatively affect the functioning of the street.
4. Maximum allowable building height may be increased to 45' above average building elevation on parcels where dedication for the road is provided. Additional height increases beyond 45' above A.B.E. may be allowed for certain uses, as authorized in the Use Zone Chart.
5. Vehicular access to NE 116th is permitted only via 118th Avenue NE, or if the subject property does not have access to 118th Avenue NE (does not apply to Public Park use).
6. Any development activities requiring Design Review approval pursuant to KZC Section 142.15 shall be reviewed administratively (ADR), pursuant to KZC 142.25. Where gross floor area of an existing building is expanded by less than 10 percent, no design review is required.
7. Development must be designed to retain the existing hill along NE 116th St. and retain at a minimum, 25 percent of the viable significant trees. The City may require a greater than 25 percent depending on the location and clustering of trees (does not apply to Public Park use).
8. Some development standards or design regulations may be modified as part of the design review process. See Chapters 92 and 142, KZC for requirements.

TL 10B USE ZONE CHART

Section 55

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS											
Section 60.152	USE ↓ REGULATIONS ↓	Require d Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
			Lot Size	REQUIRED YARDS (See Ch. 115)			Height of Structure				
				Front	Side	Rear					

.010	Attached or Stacked Dwelling Units (see Special Regulation 1).	D.R., Chapter 142, KZC (See General Regulation 6).	None	20'	5', but 2 side yards must equal at least 15"	10'	70%	35 to 60' above average building elevation (see General Regulation 4 and Special regulation 2).	D	A	1.7 per unit.	<ol style="list-style-type: none"> This use is permitted only on parcels located west of the 118th Avenue NE right of way alignment (see Plates Y and Z, Chapter 180). Maximum building height may be increased from 35' to 60' if at least 10 percent of the units provided in new residential developments of 10 units or greater are affordable housing units, as defined in Chapter 5 of the KZC. The number of affordable housing units is determined by rounding up to the next whole number (unit) if the fraction of the whole number is at least 0.66. An agreement in a form approved by the City must be recorded with King County Department of Records and Elections to stipulate conditions under which required affordable housing units will remain as affordable housing units for the life of the project for rental units, and at least 30 years from the date of initial owner occupancy for ownership units. Additional affordable housing incentives may be applicable to residential development (see Chapter 112 of the KZC). Chapter 115 KZC contains regulations regarding home occupations and other accessory uses, facilities and activities associated with this use.
.020	Manufacturing See Special Regulation 1	D.R., Chapter 142, KZC (See		20'	0'	0'	70%	35' above average building elevation. (See General	A	C	1 per each 1,000 sq. ft. of gross floor area.	<ol style="list-style-type: none"> The following manufacturing uses are permitted: <ol style="list-style-type: none"> Food, drugs, stone, clay, glass, china, ceramic products, electrical equipment, scientific or photographic equipment, fabricated metal products;

TL 10B USE ZONE CHART

Section 55

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Section 60.152	USE ↓ REGULATIONS ↓	Require d Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
			Lot Size	REQUIRED YARDS (See Ch. 115)			Height of Structure				
				Front	Side	Rear					

.030	Warehouse Storage Services	General Regulation 6).									<p>Regulation 4).</p> <ul style="list-style-type: none"> b. Fabricated metal products, but not fabrication of major structural steel forms, heavy metal processes, boiler making, or similar activities; c. Cold mix process only of soap, detergents, cleaning preparations, perfumes, cosmetics, or other toilet preparations; d. Packaging of prepared materials; e. Textile, leather, wood, paper and plastic products from pre-prepared material; and f. Other compatible uses which may involve manufacturing, processing, assembling, fabrication and handling of products, and research and technological processes. <p>2. Outdoor fabrication is not permitted. Outdoor storage must be located as far as possible from the adjoining residential zones and the freeway.</p> <p>3. May include as part of this use accessory retail sales, office or service occupying not more than 20 percent of the gross floor area. The landscaping and parking requirements for these accessory uses will be the same as for the primary use.</p> <p>4 The structure containing the use shall have been in existence on December 31, 2005, and shall not be altered, changed, or otherwise modified to accommodate the use if the cost of such alteration, change, or modification exceeds 30 percent of the replacement cost of that building. However, expansion of the floor area of this use may not exceed 20% of the existing gross floor area of the building</p> <p>5. The use must be discontinued when there is an alteration, change, or other work in a consecutive 12-month period to the space in which the use is located, and the cost of the alteration, change or other work exceeds 30 percent of the replacement cost of that space.</p> <p>6. Refer to KZC 115.105 for provisions regarding Outdoor Use, Activity and Storage.</p>
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(Revised 6/06)

TL 10B USE ZONE CHART

Section 55

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 60.152	USE ↓ ↑ REGULATIONS	Require d Review Process	MINIMUMS				MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
			Lot Size	REQUIRED YARDS (See Ch. 115)			Height of Structure					
				Front	Side	Rear						

.040	Wholesale Trade	D.R., Chapter 142, KZC (See	None	20'	0'	0'	70%	35' above average building elevation. (See General	A	C	1 per each 1,000 sq. ft. of gross floor area.	1. Outdoor fabrication is not permitted. Outdoor storage must be located as far as possible from the adjoining residential zones and the freeway. 2. May include as part of this use, accessory retail sales, office or service occupying not more than 20 percent of the gross floor area. The
.050	Industrial Laundry Facility											

(Revised 6/06)

TL 10B USE ZONE CHART

Section 55

Section 60.152		USE ↓ REGULATIONS ↘		DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS									
				Require d Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
					Lot Size	REQUIRED YARDS (See Ch. 115)			Height of Structure				
Front	Side	Rear											

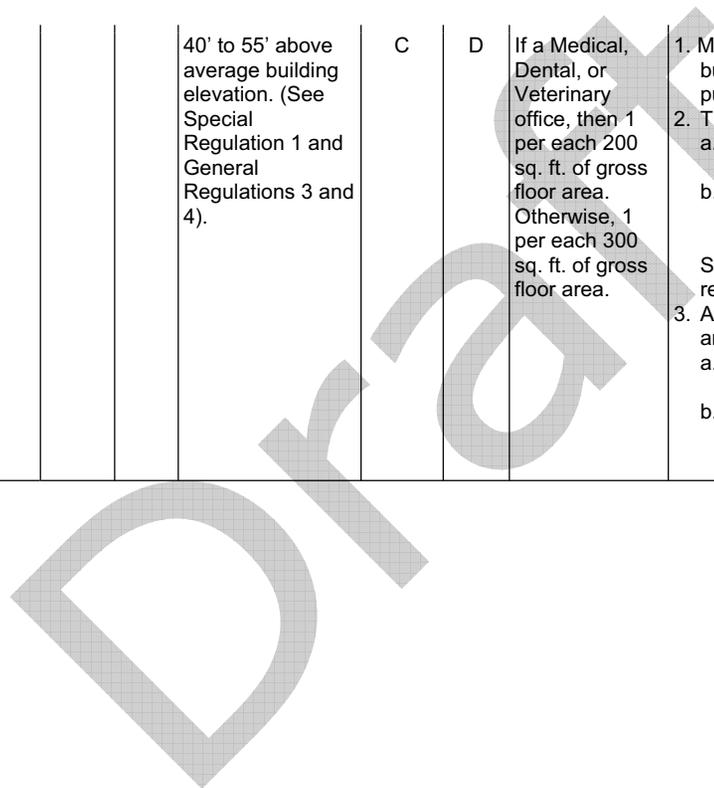
.060	Wholesale Printing or Publishing	General Regulation 6).					Regulation 4).				landscaping and parking requirements for these accessory uses will be the same as for the primary use.
.070	Wholesale Establishment or Contracting Services in Building Construction, Plumbing, Electrical, Landscaping, or Pest Control								B		3 The structure containing the use shall have been in existence on December 31, 2005, and shall not be altered, changed, or otherwise modified to accommodate the use if the cost of such alteration, change, or modification exceeds 30 percent of the replacement cost of that building. However, expansion of the floor area of this use may not exceed 20% of the existing gross floor area of the building. 4. The use must be discontinued when there is an alteration, change, or other work in a consecutive 12-month period to the space in which the use is located, and the cost of the alteration, change or other work exceeds 30 percent of the replacement cost of that space. 5. Refer to KZC 115.105 for provisions regarding Outdoor Use, Activity and Storage.

TL 10B USE ZONE CHART

Section 55

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS											
Section 60.152	USE ↓ REGULATIONS ↓	Require d Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
			Lot Size	REQUIRED YARDS (See Ch. 115)			Height of Structure				
				Front	Side	Rear					

.080	Office Use						40' to 55' above average building elevation. (See Special Regulation 1 and General Regulations 3 and 4).	C	D	<p>If a Medical, Dental, or Veterinary office, then 1 per each 200 sq. ft. of gross floor area. Otherwise, 1 per each 300 sq. ft. of gross floor area.</p> <ol style="list-style-type: none"> 1. Maximum building height may be increased from 40' to 55' above average building elevation on parcels where dedication for the road is provided, pursuant to General Regulations 3 and 4. 2. The following regulations apply only to veterinary offices: <ol style="list-style-type: none"> a. Outdoor runs or other outdoor facilities for the animals must comply with Landscape Category A. b. Outside runs and other outside facilities for the animals must be setback at least 10 feet from each property line and must be surrounded by a fence or wall sufficient to enclose the animals. See KZC 115.105, Outdoor Use, Activity and Storage, for further regulations. 3. Ancillary assembly and manufacture of goods on the premises of this use are permitted only if: <ol style="list-style-type: none"> a. The ancillary assembled or manufactured goods are subordinate to and dependent on this use. b. The outward appearance and impacts of this use with ancillary assembly or manufacturing activities must be no different from other office uses.
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TL 10B USE ZONE CHART

Section 55

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS											
Section 60.152	USE ↓ REGULATIONS ↓	Require d Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
			Lot Size	REQUIRED YARDS (See Ch. 115)			Height of Structure				
				Front	Side	Rear					

.090	High Technology	D.R., Chapter 142, KZC (See General Regulation 6).	None	20'			70%		C (see Special Regulation 4).	D	If manufacturing then 1 per each 1,000 sq. ft. of gross floor area. If office then 1 per 300 sq. ft. of gross floor area. Otherwise, See KZC 105.25.	<ol style="list-style-type: none"> 1. Maximum building height may be increased from 40' to 55' above average building elevation on parcels where dedication for the road is provided, pursuant to General Regulations 3 and 4. 2. This use may include research and development, testing, assembly, repair or manufacturing or offices that support businesses involved in the pharmaceutical and biotechnology, communications and information technology, electronics and instrumentation, computers and software sectors. 3. Refer to KZC 115.105 for provisions regarding Outside Use, Activity and Storage. 4. Any outdoor storage area shall be buffered according to Landscape Category A.
.100	Mini-Day-Care See Special Regulation 8.		None	20'	0'	0'	70%	35' above average building elevation. (See General Regulation 4).	D	B	See KZC 105.25.	<ol style="list-style-type: none"> 1. A six-foot-high fence is required along the property lines adjacent to the outside play area. 2. Hours of operation may be limited to reduce impacts on nearby residential uses. 3. Structured play areas must be setback from all property lines by 5 feet. 4. An on-site passenger loading area may be required depending on the number of attendees and the extent of the abutting right-of-way improvements. 5. The location of parking and passenger loading areas shall be designed to reduce impacts on nearby residential uses. 6. May include accessory living facilities for staff persons. 7. These uses are subject to the requirements established by the Department of Social and Health Services (WAC Title 388). 8. This use is permitted if accessory to a primary use, and: <ol style="list-style-type: none"> a. It will not exceed 20 percent of the gross floor area of the building; and

(Revised 6/06)

TL 10B USE ZONE CHART

Section 55

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Section 60.152	USE ↓ REGULATIONS ↓	Require d Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
			Lot Size	REQUIRED YARDS (See Ch. 115)			Height of Structure				
				Front	Side	Rear					

										b. The use is integrated into the design of the building.
.110	Church		20'				C		1 for every 4 people based on maximum occupancy load of any area of worship. See Special Regulation 2.	<ol style="list-style-type: none"> 1. May include accessory living facilities for staff persons. 2. No parking is required for day-care or school ancillary to the use.
.120	A retail establishment providing storage services (see special regulation						A	E	See KZC 105.25.	<ol style="list-style-type: none"> 1. May include accessory living facilities for staff persons. 2. Outdoor storage must be located as far as possible from the adjoining residential zones and the freeway. 3. This use is only allowed east of the 118th Avenue NE right-of-way alignment and its future extension to NE 116th Street (see Plate Y).

TL 10B USE ZONE CHART
Section 55

Section 60.152		USE ↓ REGULATIONS ↓		DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS									
				Require d Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
					Lot Size	REQUIRED YARDS (See Ch. 115)			Height of Structure				
Front	Side	Rear											

	3).											
.130	Public Utility								B			1. Landscape Category A or B may be required depending on the type of use on the subject property and the impacts associated with the use on the nearby uses.
.140	Government Facility or Community Facility				70%			C See Spec. Reg. 1.				
.150	Public Park	Development standards will be determined on a case by case basis. See KZC Chapter 49 for required review process.										
.160	School or Day-Care Center	D.R., Chapter 142, KZC (See General Regulation 6).	None	If this use can accommodate 50 or more students or children, then: 50' 50' on each side 50'	70%	35' above average building elevation (See General Regulation 4).		C	B	See KZC 105.25.		<ol style="list-style-type: none"> 1. A six-foot-high fence along the side and rear property lines is required only along the property lines adjacent to the outside play areas. 2. Hours of operation and maximum number of attendees at one time may be limited to reduce impacts on nearby residential uses. 3. Structured play areas must be setback from all property lines as follows: <ol style="list-style-type: none"> a. 20 feet if this use can accommodate 50 or more students or children. b. 10 feet if this use can accommodate 13 to 49 students or children. c. Otherwise, five feet. 4. An on-site passenger loading area must be provided. The City shall determine the appropriate size of the loading area on a case-by-case basis, depending on the number of attendees and the extent of the abutting right-of-way improvements. Carpooling, staggered

TL 10B USE ZONE CHART

Section 55

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS											
Section 60.152	USE ↓ REGULATIONS ↓	Require d Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
			Lot Size	REQUIRED YARDS (See Ch. 115)			Height of Structure				
				Front	Side	Rear					

			<p>If this use can accommodate 13 to 49 students or children, then:</p> <p style="text-align: center;">20' 20' on each side 20'</p> <p>Otherwise:</p> <p style="text-align: center;">20' 5', but 2 side yards must equal at least 15' 10'</p>						<p>loading/unloading time, right-of-way improvements or other means may be required to reduce traffic impacts on nearby residential uses.</p> <p>5. The location of parking and passenger loading areas shall be designed to reduce impacts on any nearby residential uses.</p> <p>6. Electrical signs shall not be permitted.</p> <p>7. May include accessory living facilities for staff persons.</p> <p>8. These uses are subject to the requirements established by the Department of Social and Health Services (WAC Title 388)..</p>
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TL 10C Use Zone Chart**Chapter 55 – Totem Lake (TL) Zones¹****55.xx** User Guide.

The charts in KZC 55.xx contain the basic zoning regulations that apply in the TL 10C zone of the City. Use these charts by reading down the left hand column entitled Use. Once you locate the use in which you are interested, read across to find the regulations that apply to that use.

TL 10C

Section 55.xx – GENERAL REGULATIONS

The following regulations apply to all uses in this zone unless otherwise noted:

1. Refer to Chapter 1 KZC to determine what other provision of this code may apply to the subject property.
2. Access for drive through facilities must be approved by the Public Works Official. See Chapter 105, KZC for requirements.
3. When a permitted use is included as an accessory use within the structure of a primary use with a taller height limit, the height limit for the primary use applies.
4. If any portion of a structure is adjoining a low density zone, then either:
 - a. The height of that portion of the structure shall not exceed 20 feet above average building elevation, or
 - b. The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width.
 See KZC 115.30, Distance Between Structures Regarding Maximum Horizontal Facade Regulation, for further details.
5. Some development standards or design regulations may be modified as part of the design review process. See Chapters 92 and 152, KZC for requirements.

 1

TL 10C Use Zone Chart

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS													
Section 48.15	USE ↓ REGULATIONS ↑	Require d Review Process	MINIMUMS			MAXIMUMS		Lot Coverage	Height of Structure	Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
			Lot Size	REQUIRED YARDS (See Ch. 115)									
				Front	Side	Rear							
.10	Attached or Stacked Dwelling Units (See Special Regulation 1).	D.R., Chapter 142, KZC	None	20'	5', but 2 side yards must equal at least 15"	10'	80%	Where adjoining a low density zone, 30' above average building elevation. Otherwise, up to 55' above average building elevation. (See special regulation 4).	D	A	1.7 per unit.	<ol style="list-style-type: none"> 1. This use is permitted as a free-standing development only in locations identified on Plate Z as "Stand-Alone Housing Areas" (see Plate Z, Chapter 180). If developed in a mixed-use project with three stories of office or high technology use, it may be located throughout the TL 10C zone. 2. At least 10 percent of the units provided in new residential developments of 10 units or greater must be affordable housing units, as defined in Chapter 5 of the KZC. The number of affordable housing units is determined by rounding up to the next whole number (unit) if the fraction of the whole number is at least 0.66. An agreement in a form approved by the City must be recorded with King County Department of Records and Elections to stipulate conditions under which required affordable housing units will remain as affordable housing units for the life of the project for rental units, and at least 30 years from the date of initial owner occupancy for ownership units. 3. Additional affordable housing incentives may be applicable to residential development (see Chapter 112 of the KZC). 4. No portion of a structure may exceed the following heights above the elevation of NE 116th Street, as measured at the midpoint of the frontage of the subject property on NE 116th Street: <ol style="list-style-type: none"> a. Within 20 feet of NE 116th Street, 35' b. Within 30 feet of NE 116th Street, 45' c. Within 40 feet of NE 116th Street, 55' 5. Chapter 115 KZC contains regulations regarding home occupations and other accessory uses, facilities and activities associated with this use. 	

(Revised 5/06)

TL 10C Use Zone Chart

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 48.15	USE ↓	REGULATIONS →	Require d Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
	Lot Size			REQUIRED YARDS (See Ch. 115)			Lot Coverage	Height of Structure				
				Front	Side	Rear						
.020	Warehouse Storage Service								C	1 per each 1,000 sq. ft. of gross floor area.	1. May include as part of this use, accessory retail sales, office or service occupying no more than 20 percent of the gross floor area. The landscaping and parking requirements for these accessory uses will be the same as for the primary use. 2. The structure containing the use shall have been in existence on December 31, 2005, and shall not be altered, changed, or otherwise modified to accommodate the use if the cost of such alteration, change, or modification exceeds 30 percent of the replacement cost of that building. However, expansion of the floor area of this use may not exceed 20% of the existing gross floor area of the building 3. The use must be discontinued when there is an alteration, change, or other work in a consecutive 12-month period to the space in which the use is located, and the cost of the alteration, change or other work exceeds 30 percent of the replacement cost of that space. 4. Refer to KZC 115.105 for provisions regarding Outdoor Use, Activity and Storage.	
.030	Wholesale Trade											
.040	Industrial Laundry Facility											
.050	Wholesale Printing or Publishing											
.060	Wholesale Establishment or Contracting Services in Building Construction, Plumbing, Electrical,	D.R., Chapter 142 KZC	None	20'	0'	0'	80%	Where adjoining a low density zone, 30 above average building elevation, Otherwise, 35' above average building elevation.	B	E	1 per each 1,000 sq. ft. of gross floor area.	1. May include as part of this use, accessory retail sales, office or service occupying no more than 20 percent of the gross floor area. The landscaping and parking requirements for these accessory uses will be the same as for the primary use. 2. Outdoor storage for this use must be buffered as established in Chapter 95 KZC for Landscaping Category A. 3. The structure containing the use shall have been in existence on December 31, 2005, and shall not be altered, changed, or

(Revised 05/06)

TL 10C Use Zone Chart

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 48.15	USE ↓ REGULATIONS →	Require d Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARDS (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
	Landscaping, or Pest Control									otherwise modified to accommodate the use if the cost of such alteration, change, or modification exceeds 30 percent of the replacement cost of that building. However, expansion of the floor area of this use may not exceed 20% of the existing floor area of the building 4. The use must be discontinued when there is an alteration, change, or other work in a consecutive 12-month period to the space in which the use is located, and the cost of the alteration, change or other work exceeds 30 percent of the replacement cost of that space. 5. Refer to KZC 115.105 for provisions regarding Outdoor Use, Activity and Storage.		
.08	A Retail Establishment Providing Banking and Related Financial Services							1 per each 300 sq. ft. of gross floor area.	1. This use is permitted if accessory to a primary use, and: a. It will not exceed 20 percent of the gross floor area of the building; b. It will not be located in a separate structure from the primary use c. It will not exceed 50% of the ground floor area of the building; d. The use is integrated into the design of the building; and e. There is no vehicle drive-in or drive-through			

(Revised 5/06)

TL 10C Use Zone Chart

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 48.15	USE ↓ REGULATIONS ↑	Require d Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARDS (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.90	Office Use	D.R., Chapter 142, KZC	None	20'	0'	0'	80%	. Where adjoining a low density zone, then 30' above average building elevation. Otherwise, 40' above average building elevation (see also Special Regulations 2 and 3).	C See also spec. Reg. 1a.	If Medical, Dental or Veterinary office, then 1 per each 200 sq. ft. of gross floor area. Otherwise, 1 per each 300 sq. ft. of gross floor area.	1. The following regulations apply only to veterinary offices: <ol style="list-style-type: none"> a. If there are outdoor runs or other outdoor facilities for the animals, then use must comply with Landscape Category A. b. Outside runs and other outside facilities for the animals must be setback at least 10 feet from each property line and must be surrounded by a fence or wall sufficient to enclose the animals. See KZC 115.105, Outdoor Use, Activity and Storage, for further regulations. 2. When three stories of this use are developed in a mixed-use project with attached or stacked dwelling units, building height may be increased by 10 feet per floor of residential use, not to exceed 55' above average building elevation. 3. No portion of a structure may exceed the following heights above the elevation of NE 116th Street, as measured at the midpoint of the frontage of the subject property on NE 116th Street: <ol style="list-style-type: none"> a. Within 20 feet of NE 116th Street, 35' b. Within 30 feet of NE 116th Street, 45' c. Within 40 feet of NE 116th Street, 55' 	
.100	High Technology						80%	Where adjoining a low density zone, then 30' above average building elevation. Otherwise, 40' above average building elevation (see also Special Regulations 2 and 3).	A	D	If manufacturing then 1 per each 1,000 sq. ft. of gross floor area. If office then 1 per 300 sq. ft. of gross floor area.	1. This use may include research and development, testing, assembly, repair or manufacturing or offices that support businesses involved in the pharmaceutical and biotechnology, communications and information technology, electronics and instrumentation, computers and software sectors. <ol style="list-style-type: none"> 2. When three stories of this use are developed in a mixed-use project with attached or stacked dwelling units, building height

(Revised 05/06)

TL 10C Use Zone Chart

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 48.15	USE ↓ REGULATIONS ↑	Require d Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARDS (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
									Otherwise, see KZC 105.25.	may be increased by 10 feet per floor of residential use, not to exceed 55' above average building elevation. 3. No portion of a structure may exceed the following heights above the elevation of NE 116 th Street, as measured at the midpoint of the frontage of the subject property on NE 116 th Street: d. Within 20 feet of NE 116 th Street, 35' e. Within 30 feet of NE 116 th Street, 45' f. Within 40 feet of NE 116 th Street, 55' 4. May include as part of this use, accessory retail sales or service occupying not more than 20 percent of the gross floor area. The landscaping and parking requirements for these accessory uses will be the same as for the primary use. 5. Refer to KZC 115.105 for provisions regarding Outside Use, Activity and Storage.		

TL 10C Use Zone Chart

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS													
Section 48.15	USE ↓ REGULATIONS ↑	Require d Review Process	MINIMUMS			MAXIMUMS		Lot Coverage	Height of Structure	Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
			Lot Size	REQUIRED YARDS (See Ch. 115)									
				Front	Side	Rear							
.110	School, Day Care Center, Mini-School or Mini-Day-Care Center See Special Regulation 1.	D.R., Chapter 142, KZC	None	20'	0'	0'	80%	Where adjoining a low density zone, then 30" above average building elevation. Otherwise 35' above average building elevation.	D	B	See KZC 105.25	<ol style="list-style-type: none"> 1. This use is permitted if accessory to a primary use, and: <ol style="list-style-type: none"> a. It will not exceed 20 percent of the gross floor area of the building; b. The use is integrated into the design of the building. 2. A six-foot-high fence is required along the property lines adjacent to the outside play areas. 3. Hours of operation may be limited to reduce impacts on nearby residential uses. 4. Structured play areas must be setback from all property lines as follows: <ol style="list-style-type: none"> a. 20 feet if this use can accommodate 50 or more students or children. b. 10 feet if this use can accommodate 13 to 49 students or children. c. 5 feet for a Mini-School or Day-Care Center 5. An on-site passenger loading area may be provided. The City shall determine the appropriate size of the loading areas on a case-by-case basis, depending on the number of attendees and the extent of the abutting right-of-way improvements. Carpooling, staggered loading/unloading time, right-of-way improvements or other means may be required to reduce traffic impacts on any nearby residential uses. 6. May include accessory living facilities for staff persons. 7. These uses are subject to the requirements established by the Department of Social and Health Services (WAC Title 388). 	
.120	Public Utility	D.R.,	None	20'	0'	0'	80%	Where adjoining a low	C	B	See KZC 105.25	<ol style="list-style-type: none"> 1. Landscape Category A or B may be required depending on the 	

(Revised 05/06)

TL 10C Use Zone Chart

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS														
Section 48.15	USE ↓ REGULATIONS ↑	Require d Review Process	MINIMUMS			MAXIMUMS		Lot Coverage	Height of Structure	Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARDS (See Ch. 115)										
				Front	Side	Rear								
.130	Government Facility Community Facility	Chapter 142, KZC					density zone, 30 above average building elevation Otherwise, 35' above average building elevation	See Spec. Reg. 1.				type of use on the subject property and the impacts associated with the use on the nearby uses.		
.140	Vehicle or boat sales, repair, services, washing or rental See Spec. Reg. 1.							A	E			1. Vehicle or boat sales or rental uses are only permitted if the property abuts NE 116th Street. 2. Outdoor vehicle or boat parking or storage areas must be buffered as required for a parking area in Chapter 105 KZC. See KZC 115.105, Outdoor Use, Activity and Storage, for further regulations.		
.150	Restaurant, Tavern or Fast Food Restaurant See Spec. Reg. 1.							B		1 per each 100 sq. ft. of gross floor area.		1. This use is permitted if accessory to a primary use, and: a. It will not exceed 20 percent of the gross floor area of the building; b. It is not located in a separate structure from the primary use, c. The use is integrated into the design of the building; and d. There is no vehicle drive-in or drive-through. d. One waste receptacle is provided for every 8 parking stalls for fast food restaurants.		
.160	Public Park	Development standards will be determined on a case by case basis. See KZC Chapter 49 for required review process.												

TL 10C Use Zone Chart

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 48.15	USE ↓	REGULATIONS →	Require d Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
	Lot Size			REQUIRED YARDS (See Ch. 115)			Lot Coverage	Height of Structure				
				Front	Side	Rear						
.170	Commercial Recreation Area and Use	D.R., chapter 142, KZC	None	20'	0'	0'	80%	Where adjoining a low density zone, 30 above average building elevation Otherwise, 35' above average building elevation.	A	E	See KZC 105.25.	<ol style="list-style-type: none"> 1. The use is permitted only if the property is located between NE 107th Street (extended) and NE 116th Street; and between I-405 and 116th Avenue NE. 2. The use shall be conducted within a wholly-enclosed building. 3. The structure containing the use shall have been in existence on June 1, 2004, and shall not be altered, changed, or otherwise modified to accommodate the use if the cost of such alteration, change, or modification exceeds 30 percent of the replacement cost of that building. 4. The use must be discontinued when there is an alteration, change, or other work in a consecutive 12-month period to the space in which the use is located, and the cost of the alteration, change or other work exceeds 30 percent of the replacement cost of that space.

10 Exhibit E TL 10D Use Zone Chart - 0506

Chapter 55 TOTEM LAKE (TL) ZONES¹

55.xx User Guide.

The charts in KZC 55.15 contain the basic zoning regulations that apply in the TL 10D zones of the City. Use these charts by reading down the left hand column entitled Use. Once you locate the use in which you are interested, read across to find the regulations that apply to that use.

**Section
5510TL
10D**

Zone

Section 55.xx – GENERAL REGULATIONS

The following regulations apply to all uses in this zone unless otherwise noted:

1. Refer to Chapter 1 KZC to determine what other provision of this code may apply to the subject property.
2. If any portion of a structure is adjoining a low density zone, then either:
 - a. The height of that portion of the structure shall not exceed 20 feet above average building elevation, or
 - b. The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width.

See KZC 115.30, Distance Between Structures Regarding Maximum Horizontal Facade Regulation, for further details.
3. When a permitted use is included as an accessory use within the structure of a primary use with a taller height limit, the height limit for the primary use applies.

.010	Packaging of Prepared Materials Manufacturing See Spec. Regs. 1 and 2.	D.R., Chapter 142, KZC	None	20'	0'	0'	80%	Where adjoining a low density zone, 30' above average building elevation. Otherwise, 35' above average building elevation.	A	C	1 per each 1,000 sq. ft. of gross floor area.	1. The following manufacturing uses are permitted: <ol style="list-style-type: none"> a. Food, drugs, stone, clay, glass, china, ceramics products, electrical equipment, scientific or photographic equipment, fabricated metal products; b. Fabricated metal products, but not fabrication of major structural steel forms, heavy metal processes, boiler making, or similar activities; c. Cold mix process only of soap, detergents, cleaning preparations, perfumes, cosmetics, or other toilet preparations; d. Packaging of prepared materials;
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¹Code reviser's note: The LIT zone was renumbered from Chapter 55 to Chapter 48 to accommodate the additions of the Totem Lake zones, presently in Chapter 55.

(Revised 0506)

TL 10D Use Zone Chart

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 48.15	USE ↓ REGULATIONS ↑	Require d Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARDS (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
										e. Textile, leather, wood, paper and plastic products from pre-prepared material; and f. Other compatible uses which may involve manufacturing, processing, assembling, fabrication and handling of products, and research and technological processes. 2. May include as part of this use, accessory retail sales, or service using not more than 20 percent of the gross floor area. The floor area of accessory office use is not limited. The landscaping and parking requirements for these accessory uses will be the same as for the primary use. 3 The structure containing the use shall have been in existence on December 31, 2005, and shall not be altered, changed, or otherwise modified to accommodate the use if the cost of such alteration, change, or modification exceeds 30 percent of the replacement cost of that building. However, expansion of the floor area of this use may not exceed 20% of the existing gross floor area of the building. 4. The use must be discontinued when there is an alteration, change, or other work in a consecutive 12-month period to the space in which the use is located, and the cost of the alteration, change or other work exceeds 30 percent of the replacement cost of that space. 5. Refer to KZC 115.105 for provisions regarding Outdoor Use, Activity and Storage.		
.020	Warehouse Storage Service							C	1 per each 1,000 sq. ft. of gross floor area.	1. May include as part of this use, accessory retail sales, or service occupying no more than 20 percent of the gross floor area. The landscaping and parking requirements for these accessory uses		
.030	Wholesale Trade											

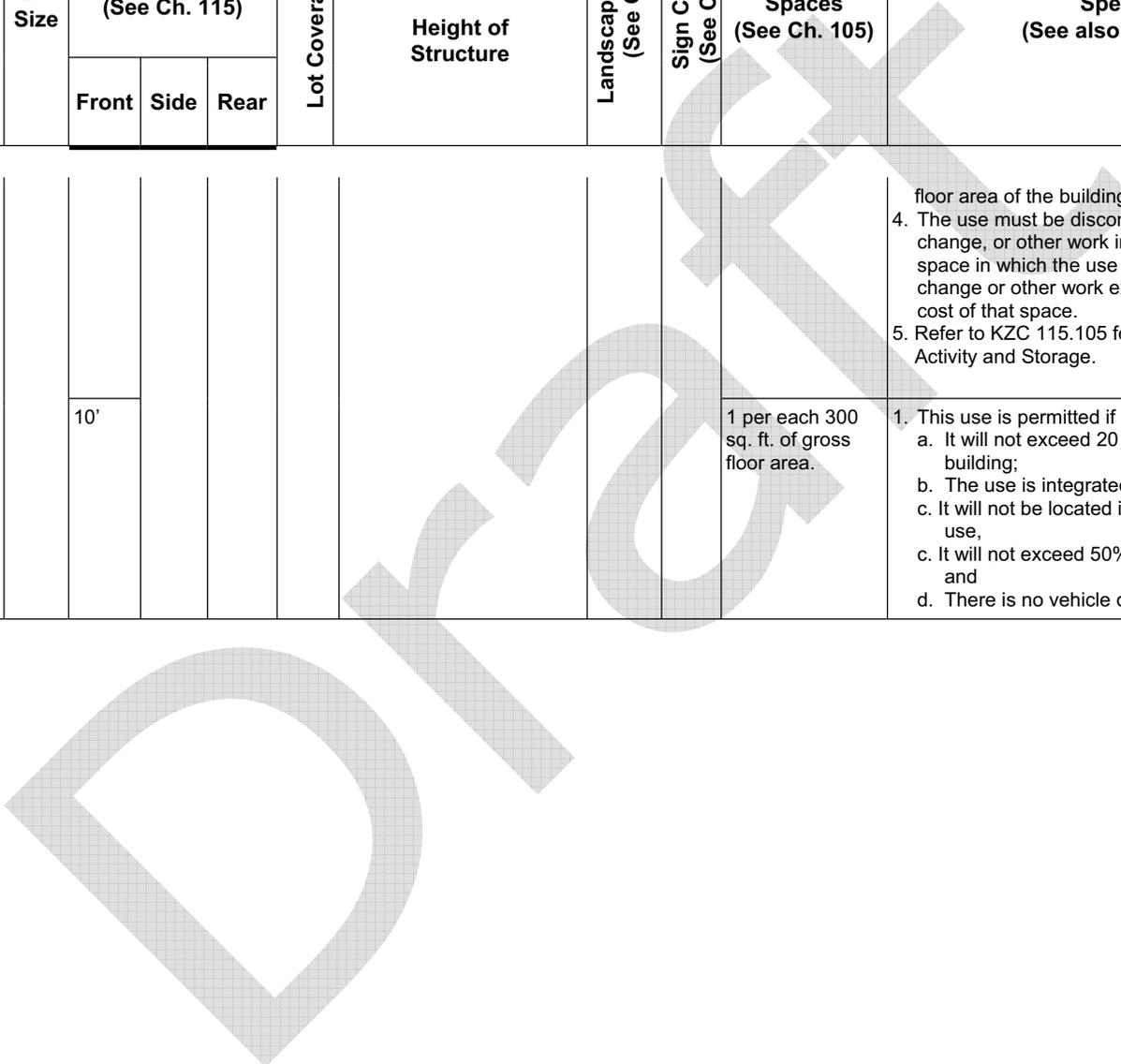
TL 10D Use Zone Chart

Section 48.15 USE ↓ REGULATIONS ↑		DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS										
		Require d Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARDS (See Ch. 115)			Lot Coverage					Height of Structure
Front	Side	Rear	Lot Coverage	Height of Structure								
.040	Industrial Laundry Facility										will be the same as for the primary use.	
.050	Wholesale Printing or Publishing										<ol style="list-style-type: none"> The structure containing the use shall have been in existence on December 31, 2005, and shall not be altered, changed, or otherwise modified to accommodate the use if the cost of such alteration, change, or modification exceeds 30 percent of the replacement cost of that building. However, expansion of the floor area of this use may not exceed 20% of the existing gross floor area of the building. The use must be discontinued when there is an alteration, change, or other work in a consecutive 12-month period to the space in which the use is located, and the cost of the alteration, change or other work exceeds 30 percent of the replacement cost of that space. Refer to KZC 115.105 for provisions regarding Outdoor Use, Activity and Storage. 	
.060	Wholesale Establishment or Contracting Services in Building Construction, Plumbing, Electrical, Landscaping, or Pest Control	D.R., Chapter 142, KZC	None	20'	0'	0'	80%	Where adjoining a low density zone, 30' above average building elevation Otherwise, 35' above average building elevation.	B	E	1 per each 1,000 sq. ft. of gross floor area.	<ol style="list-style-type: none"> May include as part of this use, accessory retail sales, office or service occupying no more than 20 percent of the gross floor area. The landscaping and parking requirements for these accessory uses will be the same as for the primary use. Outdoor storage for this use must be buffered as established in Chapter 95 KZC for Landscaping Category A. The structure containing the use shall have been in existence on December 31, 2005, and shall not be altered, changed, or otherwise modified to accommodate the use if the cost of such alteration, change, or modification exceeds 30 percent of the replacement cost of that building. However, expansion of the floor area of this use may not exceed 20% of the existing gross

(Revised 0506)

TL 10D Use Zone Chart

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 48.15	USE ↓ REGULATIONS ↑	Require d Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARDS (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
											floor area of the building. 4. The use must be discontinued when there is an alteration, change, or other work in a consecutive 12-month period to the space in which the use is located, and the cost of the alteration, change or other work exceeds 30 percent of the replacement cost of that space. 5. Refer to KZC 115.105 for provisions regarding Outdoor Use, Activity and Storage.	
.070	A Retail Establishment Providing Banking and Related Financial Services		10'						1 per each 300 sq. ft. of gross floor area.	1. This use is permitted if accessory to a primary use and: a. It will not exceed 20 percent of the gross floor area of the building; b. The use is integrated into the design of the building; c. It will not be located in a separate structure from the primary use, c. It will not exceed 50% of the ground floor area of the building, and d. There is no vehicle drive-in or drive-through.		



TL 10D Use Zone Chart

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS													
Section 48.15	USE ↓ REGULATIONS ↓	Require d Review Process	MINIMUMS			MAXIMUMS		Lot Coverage	Height of Structure	Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
			Lot Size	REQUIRED YARDS (See Ch. 115)									
				Front	Side	Rear							
.080	High Technology	D.R., Chapter 142, KZC	None	10'	0'	0'	80%	Where adjoining a low density zone, 30' above average building elevation. Otherwise, 80' above average building elevation (see Special Regulation 1).	C (See Spec. Reg. 5)	D	If manufacturing then 1 per each 1,000 sq. ft. of gross floor area. If office then 1 per 300 sq. ft. of gross floor area. Otherwise, see KZC 105.25.	<ol style="list-style-type: none"> 1. If this use is located within the "Stand-Alone Housing Areas" (see Plate Z, Chapter 180), maximum building height is 65' above average building elevation. 2. This use may include research and development, testing, assembly, repair or manufacturing or offices that support businesses involved in the pharmaceutical and biotechnology, communications and information technology, electronics and instrumentation, computers and software sectors. 3. May include as part of this use, accessory retail sales or service occupying not more than 20 percent of the gross floor area. The landscaping and parking requirements for these accessory uses will be the same as for the primary use. 4. Refer to KZC 115.105 for provisions regarding Outside Use, Activity and Storage. 5. Any outdoor storage area must be buffered according to Landscape Category A. 	
.090	Office Use								C See also Spec. Reg. 2a.		If a Medical, Dental, or Veterinary office, then 1 per each 200 sq. ft. of gross floor area. Otherwise, 1 per each 300 sq. ft. of gross floor area.	<ol style="list-style-type: none"> 1. If this use is located within the "Stand-Alone Housing Areas" (see Plate Z, Chapter 180), maximum building height is 65' above average building elevation. 2. The following regulations apply only to veterinary offices: <ol style="list-style-type: none"> a. If there are outdoor runs or other outdoor facilities for the animals, then use must comply with Landscape Category A. b. Outside runs and other outside facilities for the animals must be setback at least 10 feet from each property line and must be surrounded by a fence or wall sufficient to enclose the animals. See KZC 115.105, Outdoor Use, Activity and Storage, for further regulations. 	

(Revised 0506)

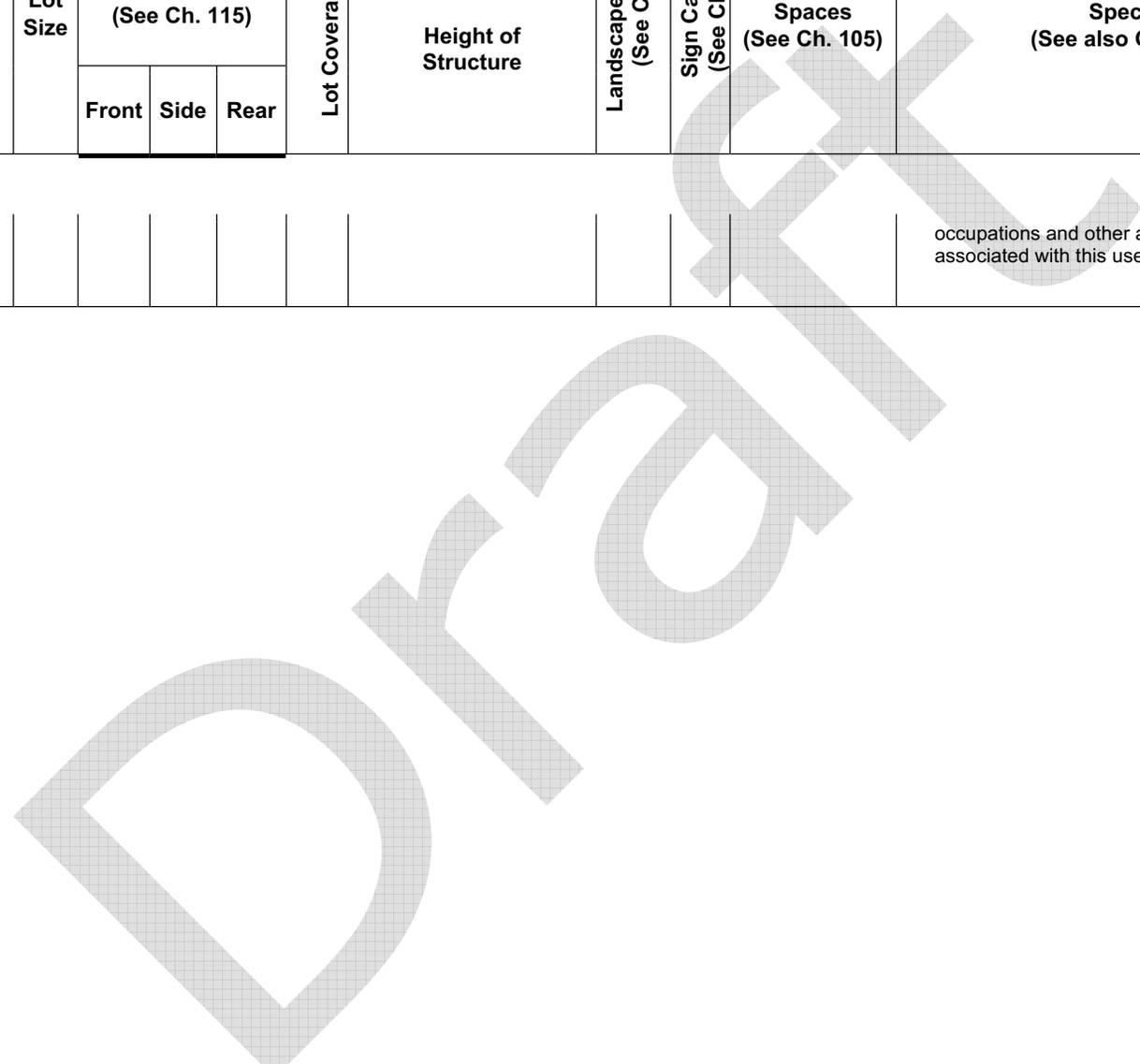
TL 10D Use Zone Chart

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS													
Section 48.15	USE ↓ REGULATIONS ↑	Require d Review Process	MINIMUMS			MAXIMUMS		Land scape Cate gory (See Ch. 95)	Sign Cate gory (See Ch. 100)	Required Park ing Spaces (See Ch. 105)	Special Regulations (See also General Regulations)		
			Lot Size	REQUIRED YARDS (See Ch. 115)			Lot Cove rage						Height of Struc ture
				Front	Side	Rear							
.100	Attached or Stacked Dwelling Units (see Special Regulation 1).	D.R., Chapter 142, KZC	None	10'	5', but 2 side yards must equal at least 15"	10'	80%	Where adjoining a low density zone, 30' above average building elevation. Otherwise, up to 65' above average building elevation. (See special regulation 1).	D	A	1.7 per unit.	<ol style="list-style-type: none"> 1. This use is permitted as a free-standing development only in locations identified on Plate Z as "Stand-Alone Housing Areas" (see Plate Z, Chapter 180). If developed in a mixed-use project with three stories of office or high technology use, it may be located throughout the TL 10D zone. 2. Maximum building height may be increased as follows: <ol style="list-style-type: none"> a. Maximum building height is 45' feet above average building elevation where not adjoining a low density zone, and where affordable housing units as described in 1.b below are not provided, and b. Maximum building height is 65' above average building elevation where not adjoining a low density zone, and where at least 10 percent of the units provided in new residential developments of 10 units or greater are affordable housing units, as defined in Chapter 5 of the KZC. The number of affordable housing units is determined by rounding up to the next whole number (unit) if the fraction of the whole number is at least 0.66. An agreement in a form approved by the City must be recorded with King County Department of Records and Elections to stipulate conditions under which required affordable housing units will remain as affordable housing units for the life of the project for rental units, and at least 30 years from the date of initial owner occupancy for ownership units. <p style="margin-left: 20px;">Additional affordable housing incentives may be applicable to residential development (see Chapter 112 of the KZC).</p> 3. Chapter 115 KZC contains regulations regarding home 	

(Revised 0506)

TL 10D Use Zone Chart

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 48.15	USE ↓ ↑ REGULATIONS	Require d Review Process	MINIMUMS			MAXIMUMS		Lot Coverage	Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
			Lot Size	REQUIRED YARDS (See Ch. 115)			Height of Structure					
				Front	Side	Rear						
											occupations and other accessory uses, facilities and activities associated with this use.	



TL 10D Use Zone Chart

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 48.15	USE ↓ REGULATIONS →	Require d Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARDS (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
.110	Day-Care Center and Mini-Day-Care Center See Special Regulation 1.	D.R., Chapter 142, KZC	20'	0'	0'	80%	Where adjoining a low density, then 30" above average building elevation. Otherwise, 35' above average building elevation.	D	B	See KZC 105.25.	<ol style="list-style-type: none"> 1. This use is permitted if accessory to a primary use, and: <ol style="list-style-type: none"> a. It will not exceed 20 percent of the gross floor area of the building; b. The use is integrated into the design of the building. 2. A six-foot-high fence is required along the property lines adjacent to the outside play areas. 3. Hours of operation may be limited to reduce impacts on nearby residential uses. 4. Structured play areas must be setback from all property lines as follows: <ol style="list-style-type: none"> a. 20 feet if this use can accommodate 50 or more students or children. b. 10 feet if this use can accommodate 13 to 49 students or children. c. 5 feet for a Mini-Day-Care Center. 5. An on-site passenger loading area may be provided. The City shall determine the appropriate size of the loading areas on a case-by-case basis, depending on the number of attendees and the extent of the abutting right-of-way improvements. Carpooling, staggered loading/unloading time, right-of-way improvements or other means may be required to reduce traffic impacts on any nearby residential uses. 6. May include accessory living facilities for staff persons. 7. The location of parking and passenger loading areas shall be designed to reduce impacts on any nearby residential uses. 8. These uses are subject to the requirements established by the Department of Social and Health Services (WAC Title 388). 	
.120	Public Utility							C	B		<ol style="list-style-type: none"> 1. Landscape Category A or B may be required depending on the 	

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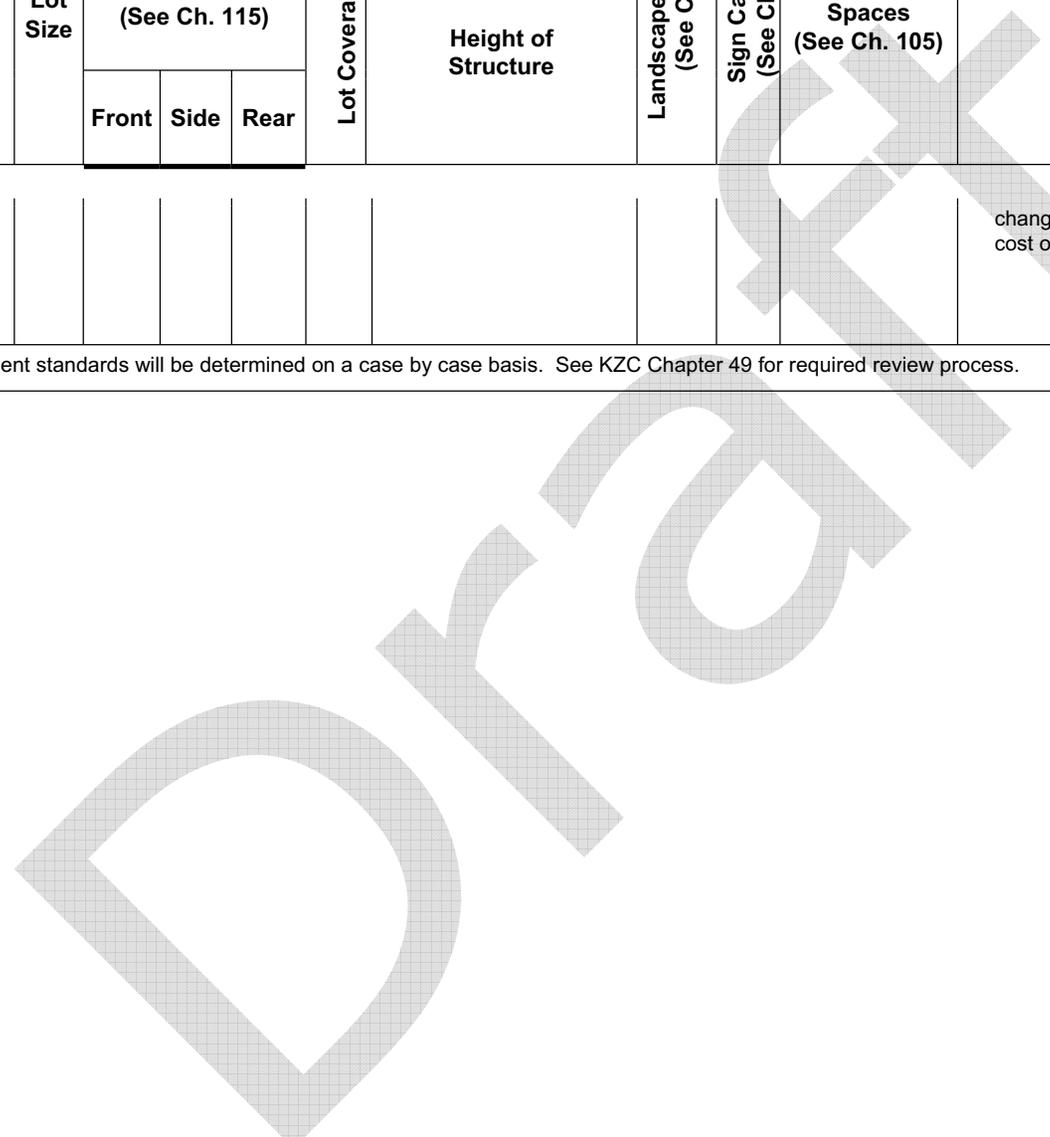
TL 10D Use Zone Chart

Section 48.15 USE ↓ REGULATIONS ↑		DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS										
		Require d Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARDS (See Ch. 115)			Lot Coverage					Height of Structure
Front	Side	Rear										
.130	Government Facility Community Facility							See Spec. Reg. 1.			type of use on the subject property and the impacts associated with the use on the nearby uses.	
.140	Restaurant, Tavern or Fast Food Restaurant See Spec. Reg. 1.	D.R., Chapter 142, KZC	20%			80%	Where adjoining a low density zone, 30' above average building elevation. Otherwise, 35' above average building elevation.	B	E	1 per each 100 sq. ft. of gross floor area.	1. This use is permitted if accessory to a primary use, and: a. It will not exceed 20 percent of the gross floor area of the building; b. It will not be located in a separate structure from the primary use, c. It will not exceed 50% of the ground floor area of the building, d. The use is integrated into the design of the building; e. There is no vehicle drive-in or drive-through, and f. One waste receptacle is provided for every 8 parking stalls for fast food restaurants.	
.150	Commercial Recreation Area and Use	D.R., Chapter 142, KZC	None	20'	0'	0'	80%	Where adjoining a low density zone, 30' above average building elevation. Otherwise, 35' above average building elevation.	A	E	See KZC 105.25.	1. The use is permitted only if the property is located between NE 107th Street (extended) and NE 116th Street; and between I-405 and 116th Avenue NE. 2. The use shall be conducted within a wholly-enclosed building. 3. The structure containing the use shall have been in existence on June 1, 2004, and shall not be altered, changed, or otherwise modified to accommodate the use if the cost of such alteration, change, or modification exceeds 30 percent of the replacement cost of that building. 4. The use must be discontinued when there is an alteration, change, or other work in a consecutive 12-month period to the space in which the use is located, and the cost of the alteration,

(Revised 0506)

TL 10D Use Zone Chart

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 48.15	USE ↓ ↑ REGULATIONS	Require d Review Process	MINIMUMS			MAXIMUMS		Lot Coverage	Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
			Lot Size	REQUIRED YARDS (See Ch. 115)			Height of Structure					
				Front	Side	Rear						
											change or other work exceeds 30 percent of the replacement cost of that space.	
.160	Public Park	Development standards will be determined on a case by case basis. See KZC Chapter 49 for required review process.										



TL 10E Use Zone Chart**Chapter 55 – Totem Lake (TL) Zones¹**

55.xx User Guide.

The charts in KZC 55.xx contain the basic zoning regulations that apply in the TL 10E zone of the City. Use these charts by reading down the left hand column entitled Use. Once you locate the use in which you are interested, read across to find the regulations that apply to that use.

TL 10E

Section 55.xx – GENERAL REGULATIONS

The following regulations apply to all uses in this zone unless otherwise noted:

1. Refer to Chapter 1 KZC to determine what other provision of this code may apply to the subject property.
2. Access for drive through facilities must be approved by the Public Works Official. See Chapter 105, KZC for requirements.
3. When a permitted use is included as an accessory use within the structure of a primary use with a taller height limit, the height limit for the primary use applies.
4. If any portion of a structure is adjoining a low density zone, then either:
 - a. The height of that portion of the structure shall not exceed 20 feet above average building elevation, or
 - b. The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width.

See KZC 115.30, Distance Between Structures Regarding Maximum Horizontal Facade Regulation, for further details.
5. Where a stream has been diverted into a pipe or culvert, development must not preclude future restoration of the stream to its historic corridor, removal of fish barriers, or the daylighting of the stream. The City may require the applicant to preserve 100 feet in width for the stream corridor. An increase in the allowable building height of 15 feet (beyond 100 feet of a low density zone), shall be extended to those parcels required to preserve land for stream restoration. The placement of buildings, driveways and parking areas shall be located to enable stream restoration to occur

TL 10E Use Zone Chart

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS

Section 48.15	USE ↓ REGULATIONS →	Require d Review Process	MINIMUMS			MAXIMUMS		Lot Coverage	Height of Structure	Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
			Lot Size	REQUIRED YARDS (See Ch. 115)									
				Front	Side	Rear							
.010	Packaging of Prepared Materials Manufacturing See Spec. Regs. 1 and 2.	D.R., Chapter 142 KZC	None	20'	0'	0'	80%	Where adjoining a low density zone, 30' above average building elevation, Otherwise, 35' above average building elevation.	A	C	1 per each 1,000 sq. ft. of gross floor area.	<ol style="list-style-type: none"> The following manufacturing uses are permitted: <ol style="list-style-type: none"> Food, drugs, stone, clay, glass, china, ceramics products, electrical equipment, scientific or photographic equipment, fabricated metal products; Fabricated metal products, but not fabrication of major structural steel forms, heavy metal processes, boiler making, or similar activities; Cold mix process only of soap, detergents, cleaning preparations, perfumes, cosmetics, or other toilet preparations; Packaging of prepared materials; Textile, leather, wood, paper and plastic products from pre-prepared material; and Other compatible uses which may involve manufacturing, processing, assembling, fabrication and handling of products, and research and technological processes. May include as part of this use, accessory retail sales, or service occupying not more than 20 percent of the gross floor area. The landscaping and parking requirements for these accessory uses will be the same as for the primary use. The structure containing the use shall have been in existence on December 31, 2005, and shall not be altered, changed, or otherwise modified to accommodate the use if the cost of such alteration, change, or modification exceeds 30 percent of the replacement cost of that building. However, expansion of the floor area of this use may not exceed 20% of the existing gross floor area of the building The use must be discontinued when there is an alteration, change, or other work in a consecutive 12-month period to the space in which the use is located, and the cost of the alteration, 	

TL 10E Use Zone Chart

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 48.15	USE ↓ REGULATIONS ↑	Require d Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARDS (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
										change or other work exceeds 30 percent of the replacement cost of that space.		
.020	Warehouse Storage Service							C	1 per each 1,000 sq. ft. of gross floor area.	1. May include as part of this use, accessory retail sales, or service occupying no more than 20 percent of the gross floor area. The landscaping and parking requirements for these accessory uses will be the same as for the primary use. 2 The structure containing the use shall have been in existence on December 31, 2005, and shall not be altered, changed, or		
.030	Wholesale Trade											
.040	Industrial Laundry Facility											

(Revised 0506)

TL 10E Use Zone Chart

Section 48.15		USE ↓ REGULATIONS →		DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS											
				Require d Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)		
					Lot Size	REQUIRED YARDS (See Ch. 115)			Lot Coverage					Height of Structure	
Front	Side	Rear	Lot Coverage	Height of Structure											
.050	Wholesale Printing or Publishing														otherwise modified to accommodate the use if the cost of such alteration, change, or modification exceeds 30 percent of the replacement cost of that building. However, expansion of the floor area of this use may not exceed 20% of the existing gross floor area of the building. 3. The use must be discontinued when there is an alteration, change, or other work in a consecutive 12-month period to the space in which the use is located, and the cost of the alteration, change or other work exceeds 30 percent of the replacement cost of that space.
.060	A Retail Establishment Providing Banking and Related Financial Services														1. This use is permitted if accessory to a primary use, and: a. It will not exceed 20 percent of the gross floor area of the building; b. It will not be located in a separate structure from the primary use c. It will not exceed 50% of the ground floor area of the building; d. The use is integrated into the design of the building; and e. There is no vehicle drive-in or drive-through.
.070	Office Use	D.R., Chapter 142, KZC	None	10'	0'	0'	80%	Where adjoining a low density zone, then 50' above average building elevation. Otherwise, 80' above average building	C See also spec. Reg.	If Medical, Dental or Veterinary office, then 1 per each 200 sq. ft. of gross floor					1. The following regulations apply only to veterinary offices: a. If there are outdoor runs or other outdoor facilities for the animals, then use must comply with Landscape Category A. b. Outside runs and other outside facilities for the animals must be setback at least 10 feet from each property line and must

(Revised 0506)

TL 10E Use Zone Chart

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 48.15	USE ↓ REGULATIONS ↑	Require d Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARDS (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						

							elevation	1a.	area. Otherwise, 1 per each 300 sq. ft. of gross floor area.	be surrounded by a fence or wall sufficient to enclose the animals. See KZC 115.105, Outdoor Use, Activity and Storage, for further regulations.	
.080	High Technology						80% Where adjoining a low density zone, then 50' above average building elevation. Otherwise, 80' above average building elevation.	C See Spec. Reg. 3.	D If manufacturing then 1 per each 1,000 sq. ft. of gross floor area. If office then 1 per 300 sq. ft. of gross floor area. Otherwise, see KZC 105.25.	<ol style="list-style-type: none"> 1. This use may include research and development, testing, assembly, repair or manufacturing or offices that support businesses involved in the pharmaceutical and biotechnology, communications and information technology, electronics and instrumentation, computers and software sectors. 2. May include as part of this use, accessory retail sales or service occupying not more than 20 percent of the gross floor area. The landscaping and parking requirements for these accessory uses will be the same as for the primary use. 3. Refer to KZC 115.105 for provisions regarding Outside Use, Activity and Storage. 4. Any outdoor storage area must be buffered according to Landscape Category A. 	
.90	Public Utility	D.R., Chapter 142, KZC	None	20'	0'	0'	80% If adjoining a low density zone, then 30' above average building elevation. Otherwise, 35' above average building elevation	C	B	See KZC 105.25	<ol style="list-style-type: none"> 1. Landscape Category A or B may be required depending on the type of use on the subject property and the impacts associated with the use on the nearby uses.
.100	Government Facility Community Facility							See Spec. Reg. 1			

TL 10E Use Zone Chart

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS													
Section 48.15	USE ↓ REGULATIONS →	Require d Review Process	MINIMUMS			MAXIMUMS		Lot Coverage	Height of Structure	Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)
			Lot Size	REQUIRED YARDS (See Ch. 115)									
				Front	Side	Rear							
.110	Vehicle or boat repair, services, washing or rental See Spec. Reg. 1.		20'				Where adjoining a low density zone, 30' above average building elevation.		E		1. Outdoor vehicle or boat parking or storage areas must be buffered as required for a parking area in Chapter 105 KZC. See KZC 115.105, Outdoor Use, Activity and Storage, for further regulations.		
.120	Restaurant, Tavern or Fast Food Restaurant See Spec. Reg. 1.		10'						B	1 per each 100 sq. ft. of gross floor area.	1. This use is permitted if accessory to a primary use, and: a. It will not exceed 20 percent of the gross floor area of the building; b. It is not located in a separate structure from the primary use, c. The use is integrated into the design of the building; and d. There is no vehicle drive-in or drive-through. e. One waste receptacle is provided for every 8 parking stalls for fast food restaurants. 2		
.130	Commercial Recreation Area and Use	D.R., Chapter 142, KZC.	None	20'	0'	0'	80%	Where adjoining a low density zone, 30' above average building elevation. Otherwise, 35' above average building elevation.	A	E	See KZC 105.25.	1. The use is permitted only if the property is located between NE 107th Street (extended) and NE 116th Street; and between I-405 and 116th Avenue NE. 2. The use shall be conducted within a wholly-enclosed building. 3. The structure containing the use shall have been in existence on June 1, 2004, and shall not be altered, changed, or otherwise modified to accommodate the use if the cost of such alteration, change, or modification exceeds 30 percent of the replacement cost of that building.	

(Revised 0506)

TL 10E Use Zone Chart

DIRECTIONS: FIRST, read down to find use...THEN, across for REGULATIONS												
Section 48.15	USE ↓ REGULATIONS ↑	Require d Review Process	MINIMUMS			MAXIMUMS		Landscape Category (See Ch. 95)	Sign Category (See Ch. 100)	Required Parking Spaces (See Ch. 105)	Special Regulations (See also General Regulations)	
			Lot Size	REQUIRED YARDS (See Ch. 115)			Lot Coverage					Height of Structure
				Front	Side	Rear						
										4. The use must be discontinued when there is an alteration, change, or other work in a consecutive 12-month period to the space in which the use is located, and the cost of the alteration, change or other work exceeds 30 percent of the replacement cost of that space.		
.140	Public Park	Development standards will be determined on a case by case basis. See KZC Chapter 49 for required review process.										

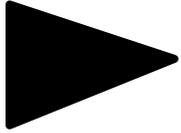
TL 6A and TL 6B USE ZONE CHART

CHAPTER 55 – TOTEM LAKE (TL) ZONES TL 6A, TL 6B

55.4545.05 User Guide.

The charts in KZC 55.45.10 contain the basic zoning regulations that apply in the TL 6 zones of the City. Use these charts by reading down the left hand column entitled Use. Once you locate the use in which you are interested, read across to find the regulations that apply to that use.

Section 55.45



Section 55.45 GENERAL REGULATIONS

The following regulations apply to all uses in this zone unless otherwise noted:

1. Refer to Chapter 1 KZC to determine what other provisions of this code may apply to the subject property.
2. Where feasible, primary access for non-residential uses within TL 6 shall be from 124th Avenue NE, NE 124th Street, or NE 120th Street.
3. The ground floor of all structures with frontage on a pedestrian or vehicular circulation route, or adjacent to a pedestrian-oriented space shall be a minimum of 15' in height. This requirement does not apply to:
 - a. The following uses: vehicle service stations, private lodges or clubs, stacked dwelling units, churches, schools, day-care centers, mini-schools or mini-day care centers, assisted living facilities, convalescent center or nursing homes, public utilities, government facilities or community facilities.
 - b. Parking garages.
 - c. Additions to existing non-conforming development where the Planning Official determines it is not feasible or.
 - d. Parcels located more than 500 feet north of NE 124th Street, east of 116th Avenue NE.
4. Within TL 6B, at least 50% of the gross floor area located on the ground floor of all structures with frontage on a pedestrian or vehicular route, or adjacent to a pedestrian-oriented space must contain retail establishments, restaurants, taverns, hotels or motels. These uses shall be oriented to a major pedestrian sidewalk, a through block pedestrian pathway or an internal pathway (see also KZC Chapter 92). This regulation does not apply to parcels located more than 500 feet north of NE 124th Street, east of 116th Avenue NE.
5. In addition to the height exceptions established by KZC 115.60, the following exceptions to height regulations in TL zones are established:
 - a. Decorative parapets may exceed the height limit by a maximum of four feet; provided, that the average height of the parapet around the perimeter of the structure shall not exceed two feet.
 - b. For structures with a peaked roof, the peak may extend eight feet above the height limit if the slope of the roof is equal to or greater than four feet vertical to 12 feet horizontal.
6. The review process for development in this zone is as follows:
 - a. In TL 6A, any development activities requiring Design Review approval pursuant to KZC Section 142.15 shall be reviewed administratively (ADR), pursuant to KZC 142.25. Where gross floor area of an existing building is expanded by less than 10 percent, no design review is required.
 - b. In TL 6B, as set forth in Chapter 142.
7. Access for drive through facilities must be approved by the Public Works Official. See Chapter 105, KZC for requirements.
8. Some development standards or design regulations may be modified as part of the design review process. See Chapters 92 or 142, KZC for requirements.

This Section (All of PLA 11) to be deleted

60.149 User Guide.

The charts in KZC 60.152 contain the basic zoning regulations that apply in Planned Area 11, including sub-zones. Use these charts by reading down the left hand column entitled Use. Once you locate the use in which you are interested, read across to find the regulations that apply to that use.

Section 60.150

Zone
PLA11

Section 60.150 GENERAL REGULATIONS

The following regulations apply to all uses in this zone unless otherwise noted:

1. Refer to Chapter 1 KZC to determine what other provision of this code may apply to the subject property.
2. If any portion of a structure is adjoining a low density zone, then either:
 - a. The height of that portion of the structure shall not exceed 20 feet above average building elevation, or
 - b. The horizontal length of any facade of that portion of the structure which is parallel to the boundary of the low density zone shall not exceed 50 feet in width.

See KZC 115.30, Distance Between Structures Regarding Maximum Horizontal Facade Regulation, for further details.

(Does not apply to Hazardous Waste Facility uses).

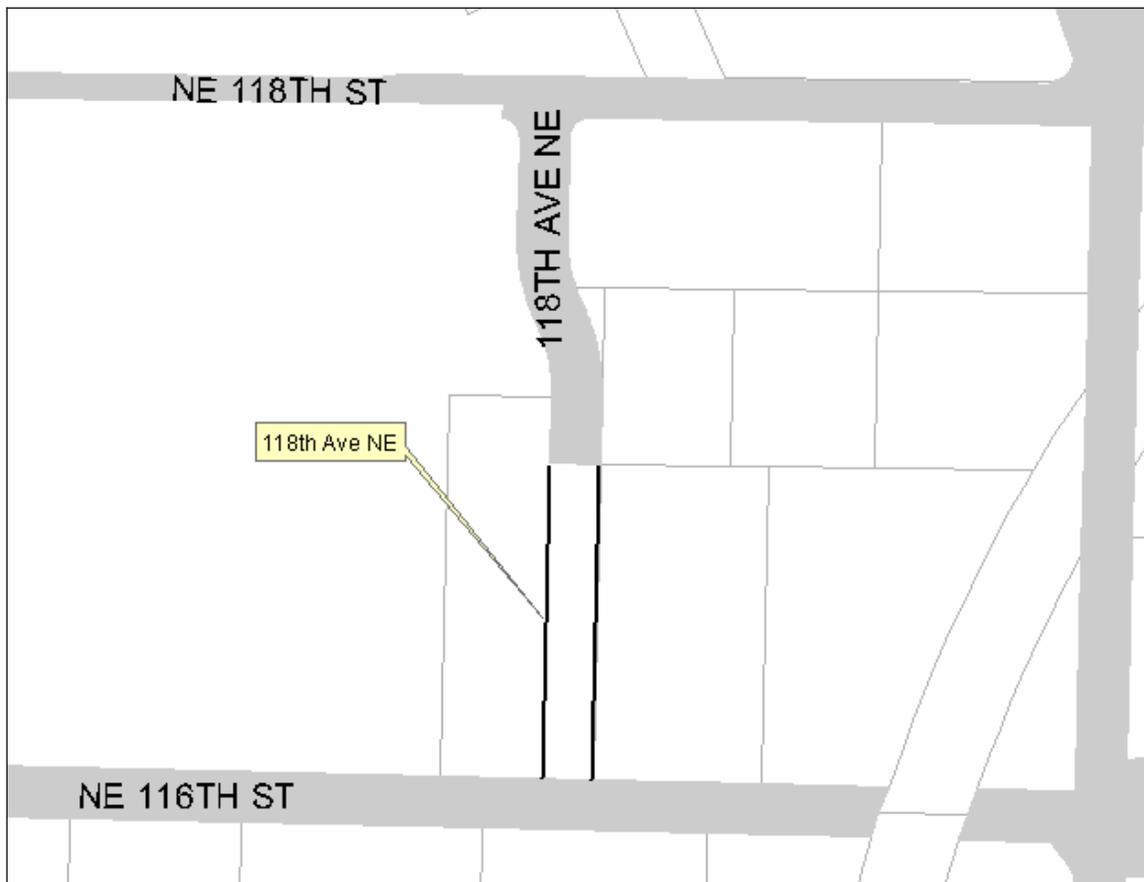
3. Site design must minimize visual impacts of development as viewed from the freeway (does not apply to Public Park and Hazardous Waste Treatment and Storage Facility uses).
4. Access onto NE 116th is permitted only if no other access is possible (does not apply to Public Park and Hazardous Waste Treatment and Storage Facility uses).
5. Except if adjoining a low density zone, structure height may be increased above 35 feet in height through a Process IIA, Chapter 150 KZC, if:
 - a. It will not block local or territorial views designated in the Comprehensive Plan;
 - b. The increased height is not specifically inconsistent with the applicable neighborhood plan provisions of the Comprehensive Plan; and
 - c. The required yard of any portion of the structure may be increased up to a maximum of one foot for each foot that any portion of the structure exceeds 35 feet above average building elevation. The need for additional setback yards will be determined as part of the review of any request to increase structure height.

(Does not apply to Public Park and Hazardous Waste Treatment and Storage Facility uses).

6. If the subject property adjoins a residential zone, noise exceeding that normally associated with a residential neighborhood must be minimized using the best available technology (does not apply to Public Utility, Government or Community Facility, Public Park and Hazardous Waste Facility uses).
7. Development must be designed to retain the existing hill along NE 116th St. and retain at a minimum, 25 percent of the significant trees. The City may require a greater than 25 percent depending on the location and clustering of trees (does not apply to Hazardous Waste Treatment and Storage Facilities and Public Park uses).

Chapter 180
Plate Y

118th Avenue NE Improvements

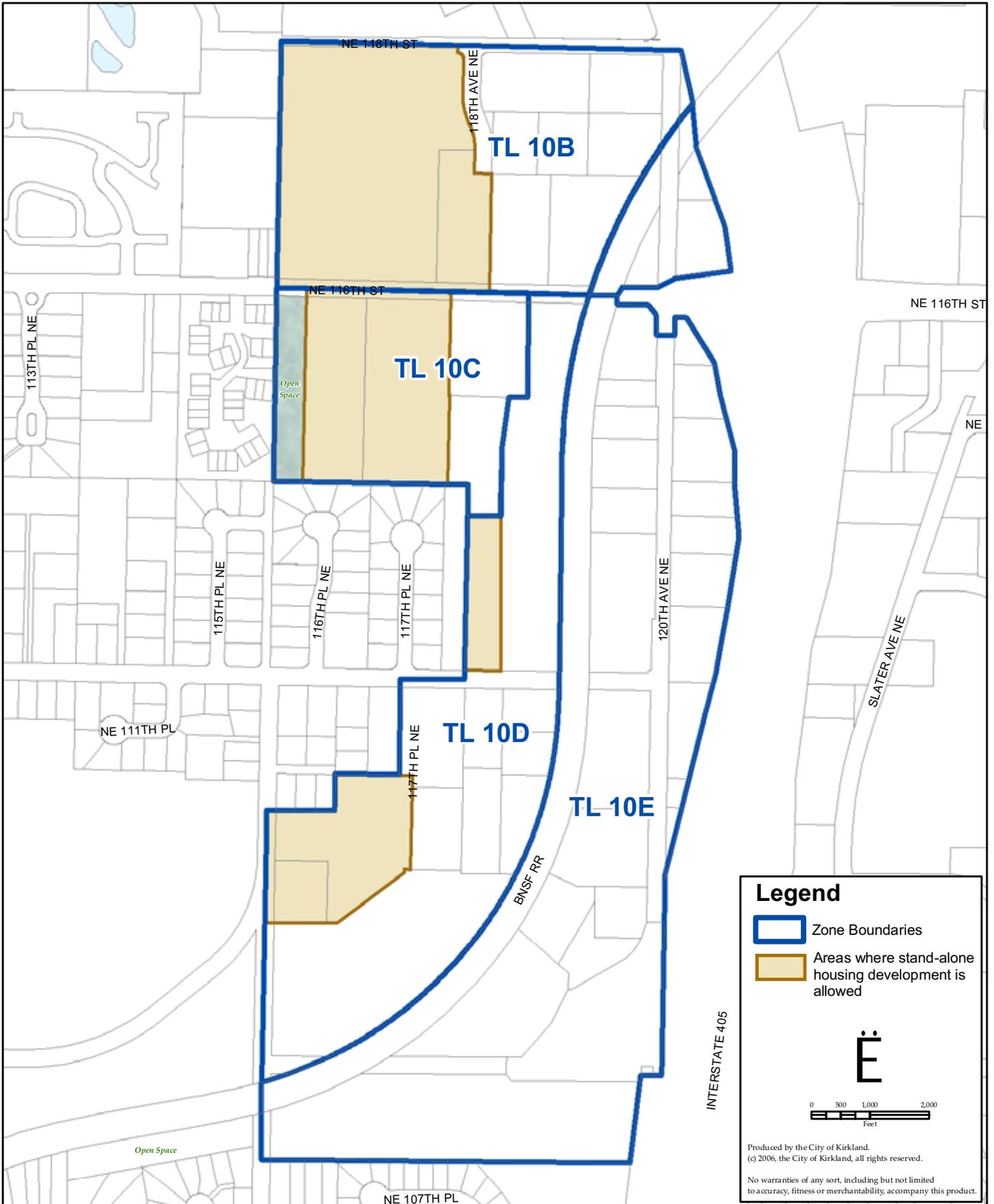


Required street improvements for 118th Avenue NE:

- ◆ 60 feet of public right-of-way
- ◆ A slope easement may be required, west of the 118th Avenue NE right-of-way, as determined by the Public Works Director.
- ◆ Specific improvements to be determined by the Public Works Director.

Chapter 180 Plate Z

Stand-Alone Housing Areas



PUBLICATION SUMMARY
ORDINANCE NO. 4051

AN ORDINANCE OF THE CITY OF KIRKLAND RELATING TO ZONING, PLANNING AND LAND USE, AMENDING CHAPTERS 1, 5, 55, 60 and 180 OF ORDINANCE 3719 AS AMENDED, THE KIRKLAND ZONING ORDINANCE (TITLE 23 OF THE KIRKLAND MUNICIPAL CODE), AND AMENDING ORDINANCE 3710 AS AMENDED, THE KIRKLAND ZONING MAP (FILE NO. ZON04-00020).

Section 1. Amends the following specific portions of the Kirkland Zoning Code related to permitted uses, development activities and design regulations in the Totem Lake Neighborhood.

- A. Amends text in Chapter 1. User Guide
- B. Amends text in Chapter 5 Definitions
- C. Amends Chapter 55 Totem Lake (TL) Zones, adding new TL 10B, TL 10C, TL 10D and TL 10E zones, and amending text for TL 6B.
- D. Amends Chapter 60 Planned Area 12, deleting the Use Zone Chart for PLA 11.
- E. Amends text in Chapter 180 Plates, adding new Plate for TL 10B and new Stand-Alone Housing Location Map.

Section 2. Amends the Kirkland Zoning Map.

Section 3. Provides a severability clause for the ordinance.

Section 4. Authorizes publication of the ordinance by summary, which summary is approved by the City Council pursuant to Kirkland Municipal Code 1.08.017 and establishes the effective date as five days after publication of summary.

Section 5 Establishes certification by City Clerk and notification of King County Department of Assessments.

The full text of this Ordinance will be mailed without charge to any person upon request made to the City Clerk for the City of Kirkland. The Ordinance was passed by the Kirkland City Council at its meeting on the ____ day of _____, 2006.

I certify that the foregoing is a summary of Ordinance _____ approved by the Kirkland City Council for summary publication.

City Clerk

ORDINANCE NO. 4052

AN ORDINANCE OF THE CITY OF KIRKLAND RELATING TO DESIGN REVIEW GUIDELINES FOR THE TOTEM LAKE NEIGHBORHOOD AND AMENDING SECTION 3.30.040 OF THE KIRKLAND MUNICIPAL CODE, (FILE NO. ZON04-00020).

WHEREAS, the City Council has received a recommendation from the Kirkland Planning Commission to create new Design Guidelines for the Totem Lake Neighborhood, as set forth in the report and recommendation of the Planning Commission dated December 15, 2005 and bearing Kirkland Department of Planning and Community Development File No. ZON04-00020; and

WHEREAS, prior to making the recommendation the Planning Commission, following notice as required by RCW 35A.63.070, on October 27, 2005 held a public hearing on the design guidelines proposals and considered the comments received at the hearing; and

WHEREAS, pursuant to the State Environmental Policy Act (SEPA), there has accompanied the legislative proposal and recommendation through the entire consideration process, a SEPA Addendum to Existing Environmental Documents issued by the responsible official pursuant to WAC 197-11-600; and

WHEREAS, in regular public meeting the City Council considered the environmental documents received from the responsible official, together with the report and recommendation of the Planning Commission.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Kirkland as follows:

Section 1. Section 3.30.040 of the Kirkland Municipal Code, entitled "Design Guidelines Adopted by Reference", is amended to read as follows:

3.30.040 Design guidelines adopted by reference.

The Design Review Board in combination with the authority set forth in Chapter 142 of the Zoning Code shall use the following design guidelines documents to review development permits:

(1) The document entitled "Design Guidelines for Pedestrian Oriented Business Districts" bearing the signature of the mayor and the director of the department of planning and community development dated August 3, 2004, is adopted by reference as though fully set forth herein. The City Council shall consult with the Planning Commission prior to amending this document.

(2) The document entitled "Design Guidelines for the Rose Hill Business District bearing the signature of the mayor and the director of the department of planning and community development dated January 3, 2006, is adopted by reference as though fully set forth herein. The City Council shall consult with the Planning Commission prior to amending this document.

(3) The document entitled "Design Guidelines for the Totem Lake Neighborhood" bearing the signature of the mayor and the director of the department of planning and community development dated June 6, 2006, is

adopted by reference as though fully set forth herein. The City Council shall consult with the Planning Commission prior to amending this document.

Section 2. If any section, subsection, sentence, clause, phrase, part or portion of this ordinance, including those parts adopted by reference, is for any reason held to be invalid or unconstitutional by any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this ordinance.

Section 3. This ordinance shall be in force and effect five days from and after its passage by the Kirkland City Council and publication, as required by law.

Section 4. A complete copy of this ordinance, including Findings, Conclusions, and Recommendations adopted by reference, shall be certified by the City Clerk, who shall then forward the certified copy to the King County Department of Assessments.

PASSED by majority vote of the Kirkland City Council in open meeting this _____ day of _____, 2006.

SIGNED IN AUTHENTICATION THEREOF this _____ day of _____, 2006.

Mayor

Attest:

City Clerk

Approved as to Form:

_____, City Attorney

The City of Kirkland



Design Guidelines

For Totem Lake Neighborhood



Adopted by the City Council
pursuant to Kirkland Municipal Code
Section 3.30.040, Ordinance_____.

Jim Lauinger,
Mayor

Eric Shields,
Director,
Planning & Community
Development

Design Guidelines for Totem Lake Neighborhood

(Revised Draft 6-06-06)

Table of Contents

Introduction	1
Future Design Vision for Totem Lake Neighborhood.....	2
Design Guidelines	15
1. Entry Gateway Features	15
2. Street Trees	16
3. Street Corners	17
4. Pedestrian-Friendly Building Fronts.....	19
5. Building Location and Orientation.....	20
<i>Special considerations in Districts TL 5, TL 6B and other Large Site Developments</i>	21
6. Sidewalk and Pathway Widths.....	21
7. Pedestrian Coverings.....	23
8. Blank Walls	24
9. Lighting	25
10. Pedestrian Amenities	26
11. Interior Pedestrian Connections.....	28
12. Pedestrian Plazas.....	30
13. Residential Open Space	31
14. Parking Lots and Vehicular Circulation	33
15. Parking Garages.....	34
16. Architectural Style.....	35
17. Architectural Scale.....	35
18. Human Scale	37
19. Building Details and Materials.....	38
20. Signs.....	39
21. Service Areas	40
22. Visual Quality of Landscapes	41
23. Territorial Views	42

Introduction

This document sets forth a series of Design Guidelines, adopted by Section 3.30.04X of the Kirkland Municipal Code that will be used by the City in the design review process for development in the Totem Lake Neighborhood. The Totem Lake Neighborhood encompasses Totem Center and the adjacent land within the neighborhood boundaries. At this time, Design Guidelines governing development in Totem Center are contained in the document titled, Design Guidelines for Pedestrian-Oriented Business Districts, Section 3.30.040 of the Municipal Code.

Other documents that should be referred to during design review are the Totem Lake Neighborhood Plan goals and policies contained in the Comprehensive Plan and the TL Use Zone Charts found in the Kirkland Zoning Code.

Purpose of the Design Guidelines

For projects required to be reviewed by the Design Review Board, the Board will use these guidelines in association with the Design Regulations of the Kirkland Zoning Code. To the extent that the standards of the Design Guidelines or Design Regulations address the same issue but are not generally consistent or contain different levels of specificity, the Design Review Board will determine which standard results in superior design. For Administrative Design Review (ADR), the Planning Official will use these guidelines when necessary to interpret the Design Regulations. They are also intended to assist project applicants and their architects by providing graphic examples of the intent of the City's guidelines and regulations.

The Design Guidelines do not set a particular style of architecture or design theme. They are intended to establish a greater sense of quality, unity, and conformance with Kirkland's physical assets and civic identity. These guidelines are not intended to slow or restrict development, but rather to add consistency and predictability to the permit review process.

Urban Design Goals

Urban design goals and objectives for the desired future development of the area were adopted in 2002 as part of the Totem Lake Neighborhood Plan:

Urban Design Framework Goal: Provide a sense of neighborhood identity. *The Totem Lake Neighborhood is comprised of distinct areas separated by built features, such as I-405. Urban design policies seek to establish visual connections between these areas, create effective transitions within and around the neighborhood, and provide a collective identity for the neighborhood.*

Design Goals TL-21-TL-24

- ***Ensure that public and private development contribute to a coherent and attractive neighborhood identity.***
- ***Develop gateway features that strengthen the character and identity of the neighborhood.***
- ***Develop a new landscaped boulevard that provides a green visual connection between the four quadrants of the neighborhood through enhanced landscape public amenities.***
- ***Provide interconnected streetscape improvements throughout the neighborhood that contribute to a sense of neighborhood identity and enhance visual quality.***

Design Vision for Totem Lake Neighborhood

The Totem Lake Neighborhood will continue to evolve into an attractive urban center, with Totem Center at its core - a dense, compact community, with a mix of business, commercial and residential uses and a high level of transit and pedestrian activity. Outside of its core, the Totem Lake Neighborhood Plan envisions new connections between areas separated by built features such as I-405, and building design that promotes a sense of community identity and continuity throughout the neighborhood.

The Plan emphasizes the wide array of residential, retail, light industrial and office uses that surround the core, in the remainder of the Urban Center. This rich mix is accompanied by enhanced mobility within the neighborhood, through maximized vehicular capacity that occurs through improvements and expanded network connections that provide additional opportunities for pedestrian-oriented development. Local transit connections, an extensive non-motorized network and a local boulevard system will all combine to complement and support the regional system.

The Plan envisions an attractive and economically strong neighborhood in Totem Lake. It acknowledges the challenges to the creation of a single community identity posed by the area's natural and built elements that split the neighborhood into four fairly distinct quadrants. Totem Lake is the City's only neighborhood bisected by Interstate-405. Nevertheless, the use of design measures that address important elements of design, will move the neighborhood forward into a more cohesive and coherent community. Key design issues to be addressed include human and architectural scale, breaking up of building mass, attention to building detail, establishment of pedestrian connections, and consideration of building orientation, as well as improvements in the public realm, such as consistent street lights, sidewalk design, landscaping elements and street furniture.

Several districts within the neighborhood present unique opportunities for development. The Planning Concept Map (Figure 1) illustrates where these focal points and opportunities exist. Further discussion in this section presents the desired vision for each of these areas, as well as for the landscaped boulevard, that should tie the area's otherwise separate elements together.

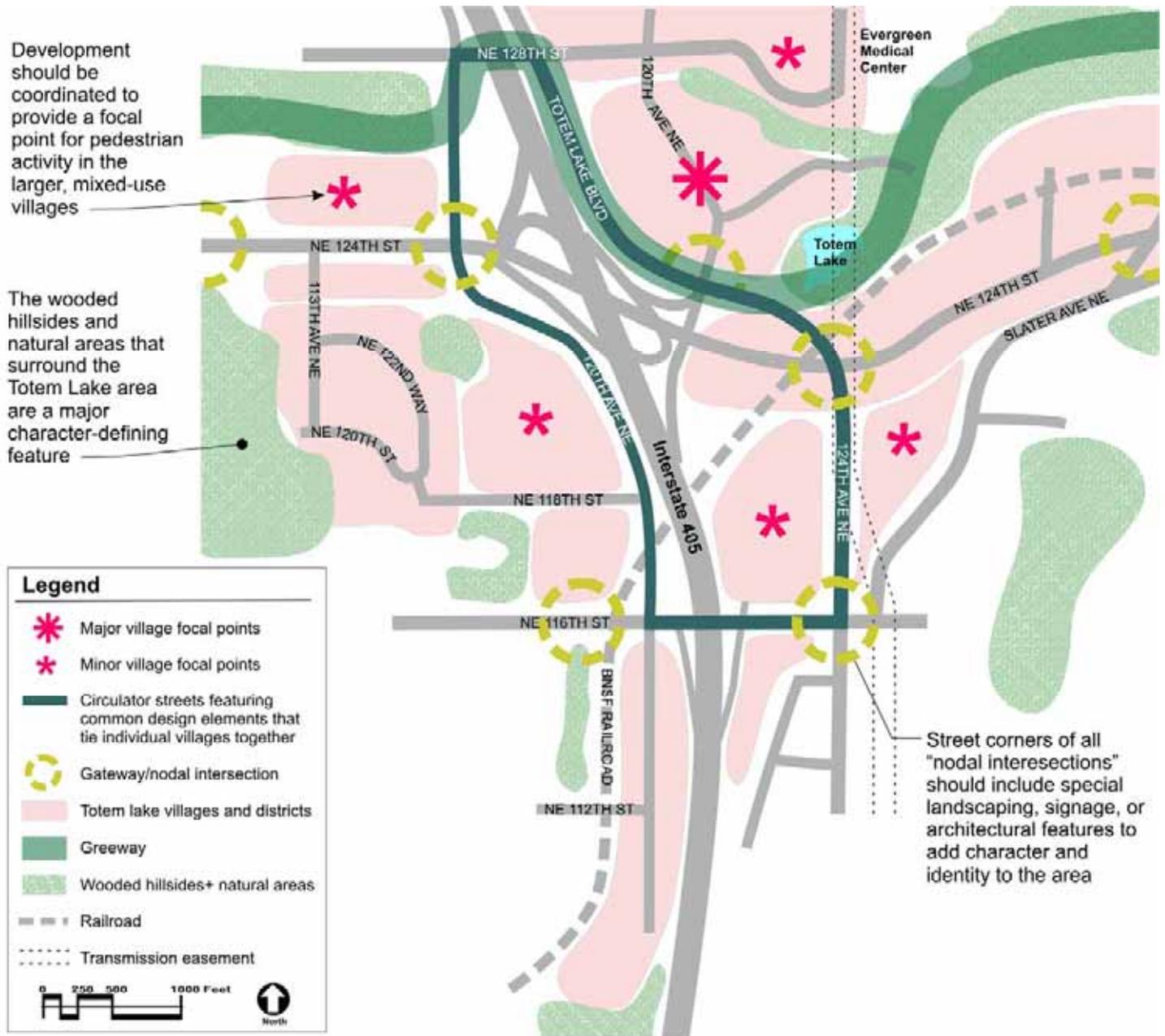


Figure 1. Planning concept for the Totem Lake Neighborhood.

Vision for District TL 5

Bordered by Interstate 405, the BNSF Railroad, 124th Avenue NE, and NE 116th Street, the Totem Lake Plan envisions the TL5 area as a planned, mixed-use district. The potential for land assembly in the district, as well as its location adjacent to the freeway create an opportunity for substantial redevelopment. The western portion of the site is situated at an elevation somewhat lower than the freeway, enabling greater building heights with minimal impacts on surrounding development.

The Plan envisions the expansion of the network of local access roads within the district, and designates roads connecting streets both north/south and from the east. Vehicular, pedestrian and bicycle access to properties within and beyond the district would be improved, and reliance on major arterial routes would be reduced. This network would be the foundation for an attractive grid of streets, wide sidewalks, and a supporting combination of commercial, office, and residential uses. The focal point of the village will be the spine of 120th Place NE – extending from NE 116th Street over the BNSF Railroad to NE 124th Street. Much of the road would resemble a “main street” with its storefronts, street trees, wide sidewalks, and on-street parking. Other notable features would be the taller office or residential buildings on visible sites bordering I-405 and a cluster of residential uses surrounding a small park site.

124th Avenue NE would be upgraded with a wider sidewalks and street trees. Since the focus of retail activity will be on interior streets within the district building orientation may be largely to these interior streets. Building frontages along 124th Avenue will be important, but the street will also be defined by landscaping, lighting and wider sidewalks. Driveways would be consolidated and coordinated with the internal street grid and properties on the east side of 124th Avenue NE. Storefronts would be clustered around major entry points to the development providing a welcoming entry. Also, building design and landscaping at the southeast corner of the village are important, as they will function as a major gateway to the village.

Parking would be provided in strategically located surface parking lots and within structures above, below, or behind retail uses. Parking areas located adjacent to surrounding arterials would feature landscaping and other design features to maintain visual continuity along the street. Parking structures would either contain retail uses at ground level or a combination of landscaping and architectural elements enhance the pedestrian environment.

Taller residential or office buildings in the area bordering I-405 would create a striking skyline for the village. While the buildings may stand out from other village structures, they would be configured in a way that complements the village. Easy pedestrian connections, landscaping, and common streetscape features link the structures to the village’s diversity of retail uses and amenities.

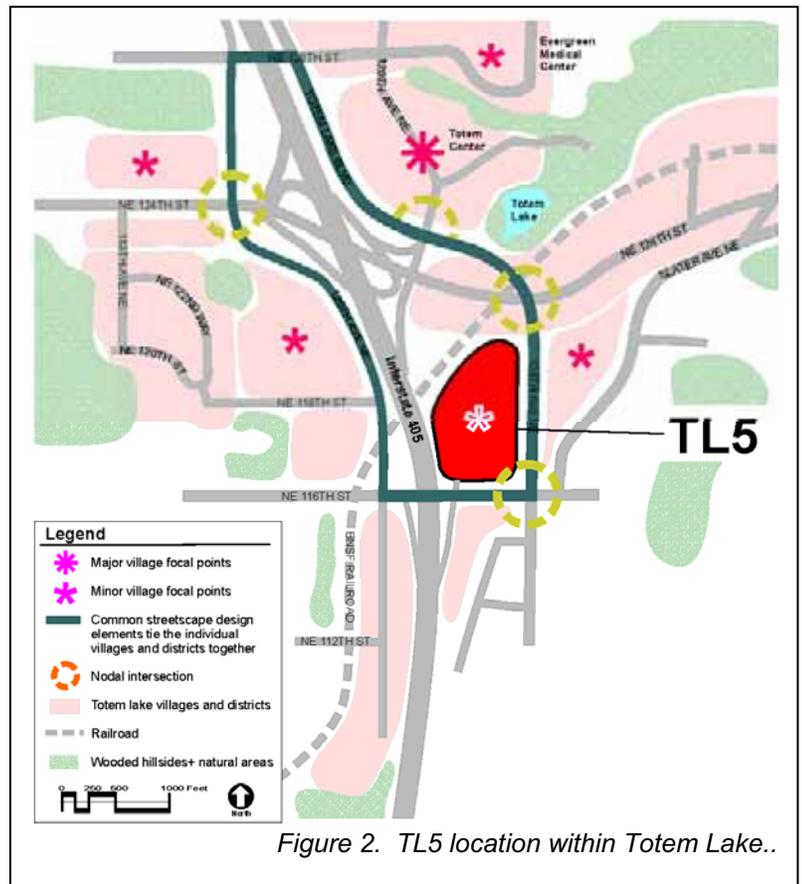


Figure 2. TL5 location within Totem Lake..

Other village buildings would generally be between one story and six-stories tall. The buildings would use a variety of materials and colors and modulated walls and rooflines to reduce their architectural scale. Storefronts would contain attractive details that provide interest at a pedestrian scale. Residential uses would feature prominent building entries and individual balconies and typically be clustered around a courtyard or small park area.

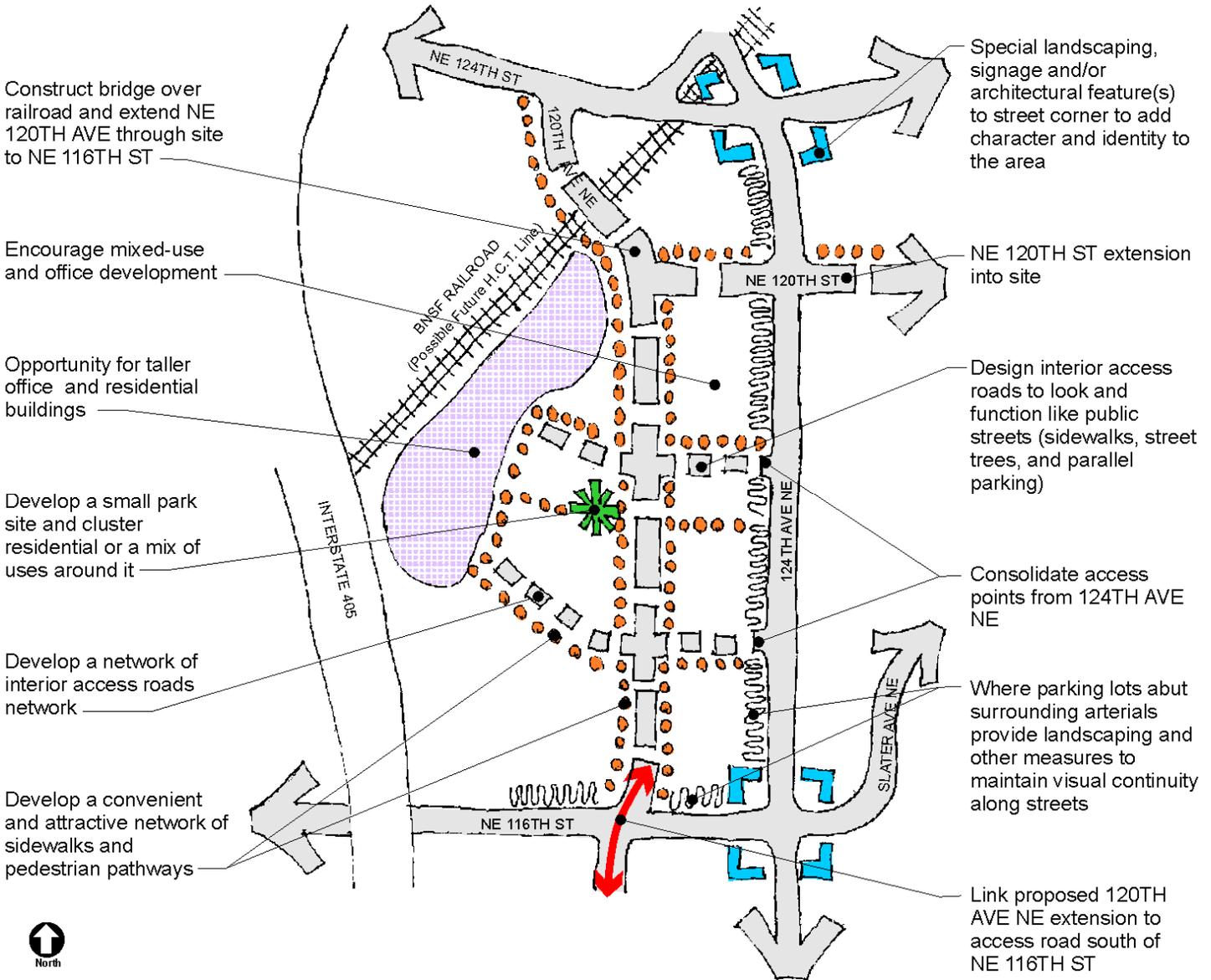


Figure 3. Redevelopment concept for TL5.

Vision for District TL 6A

The TL6A district, located at the eastern edge of the Totem Lake Neighborhood, would feature an attractive mix of commercial uses along 124th Avenue NE and NE 124th Street and terraced multi-family uses on uphill sites towards Slater Avenue NE. The extension of NE 120th Street would provide a convenient east-west connection for both pedestrians and motorists between 124th Avenue NE and Slater Avenue NE.

Both 124th Avenue NE and NE 124th Street would be significantly upgraded, featuring landscaped medians in areas that don't conflict with site access, better street lights, sidewalks, and planting strips. While both corridors are likely to remain automobile oriented in their use mix, they would be designed to be more accessible for the pedestrian.

Auto dealers will remain clustered along both 124th Avenue NE and NE 124th Street. Adjacent to the dealerships, attractive landscaping strips along the sidewalks with seasonal plantings and low level signage will be provided. While some surface parking areas will remain on the lots, many of the dealers will incorporate some structured parking to accommodate their vehicular stock. Other sites along 124th Avenue NE and NE 124th Street will retain a mix of commercial uses.

Multi-family residential uses will be concentrated on the uphill portion of the district, adjacent to Slater Avenue NE. In areas where significant elevation change exists from the east to west, Individual buildings will be able to stairstep down the hillside, following the natural earth form and creating a dramatic visual setting. The topography also allows parking areas to be hidden under buildings. Buildings can be designed to cluster around small courtyard spaces. A system of pathways will connect buildings within the district to the surrounding streets and to adjacent properties in some areas.



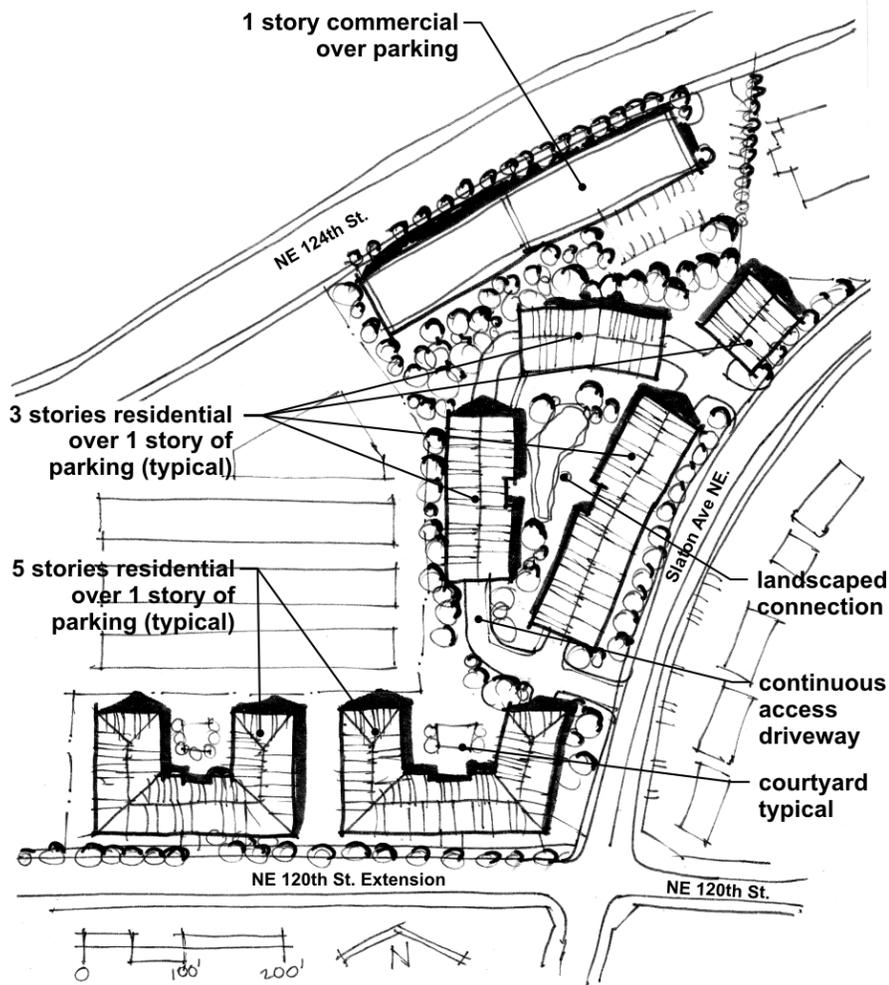
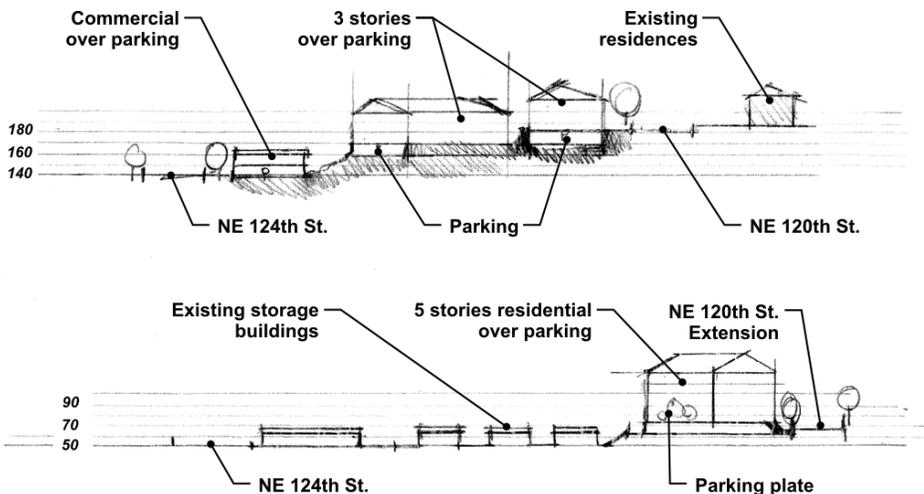


Figure 5. Redevelopment concept incorporating multi-family uses along Slater Avenue NE and planned NE 120th Avenue extension. Note how residential buildings are configured towards the street and around common open spaces. The section drawings above illustrate how development can take advantage of slopes.



Vision for District TL 6B

Located immediately west of Interstate 405 and north of NE 124th Street, TL 6B can become one of the major retail focused mixed-use villages in the Totem Lake Neighborhood. The district will contain an attractive grid of pathways with wide sidewalks and storefronts. The focal point of the village will be a centralized plaza space surrounded by storefronts with residential and/or office uses on upper floors. Residential uses will be clustered at the north end of the site to take advantage of the greenbelt setting. A loop trail will be developed around this greenbelt, providing a tremendous amenity for the area.

The surrounding arterials (NE 124th St and 116th Ave NE) could be upgraded with wider sidewalks, new landscaping and lighting, and landscaped medians. Existing landscaping along NE 124th Street should be retained and enhanced. The connected system of internal streets will allow the development to focus most vehicular traffic to one major entry point off of each arterial. The pedestrian environment will be substantially upgraded through the consolidation of vehicle access points, and the orientation of buildings to sidewalks and pathways. While many of the large, older street trees will have been retained along NE 124th Street, a colorful mix of low maintenance plantings will be added to upgrade the visual character and identity of the corridor. Gateway signage and special landscaping at the NE 124th St and 116th Ave NE intersection will announce the entry into the village.

Parking will be provided in strategically located parking lots and within structures above, below, or behind retail uses. Parking areas located along the perimeter of the district will provide landscaping and other design features to maintain visual continuity along the street. Parking structures will contain either retail uses at ground level or a combination of landscaping and architectural elements to enhance the pedestrian environment.

Village buildings will generally be between one story and five-stories tall, with the taller structures containing residential uses. The buildings will use a variety of materials and colors and modulated walls and rooflines to reduce their architectural scale. Storefronts will contain attractive details that provide interest at a pedestrian scale. Residential uses will provide prominent building entries, be served by pedestrian connections to shops within the development and to nearby streets, and be designed to take advantage of the natural area to the north as an amenity for residents.

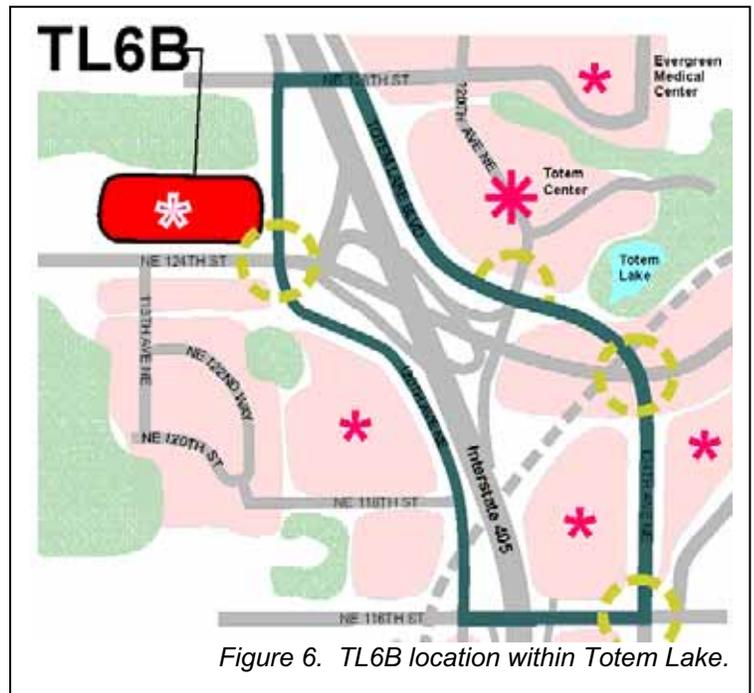


Figure 6. TL6B location within Totem Lake.

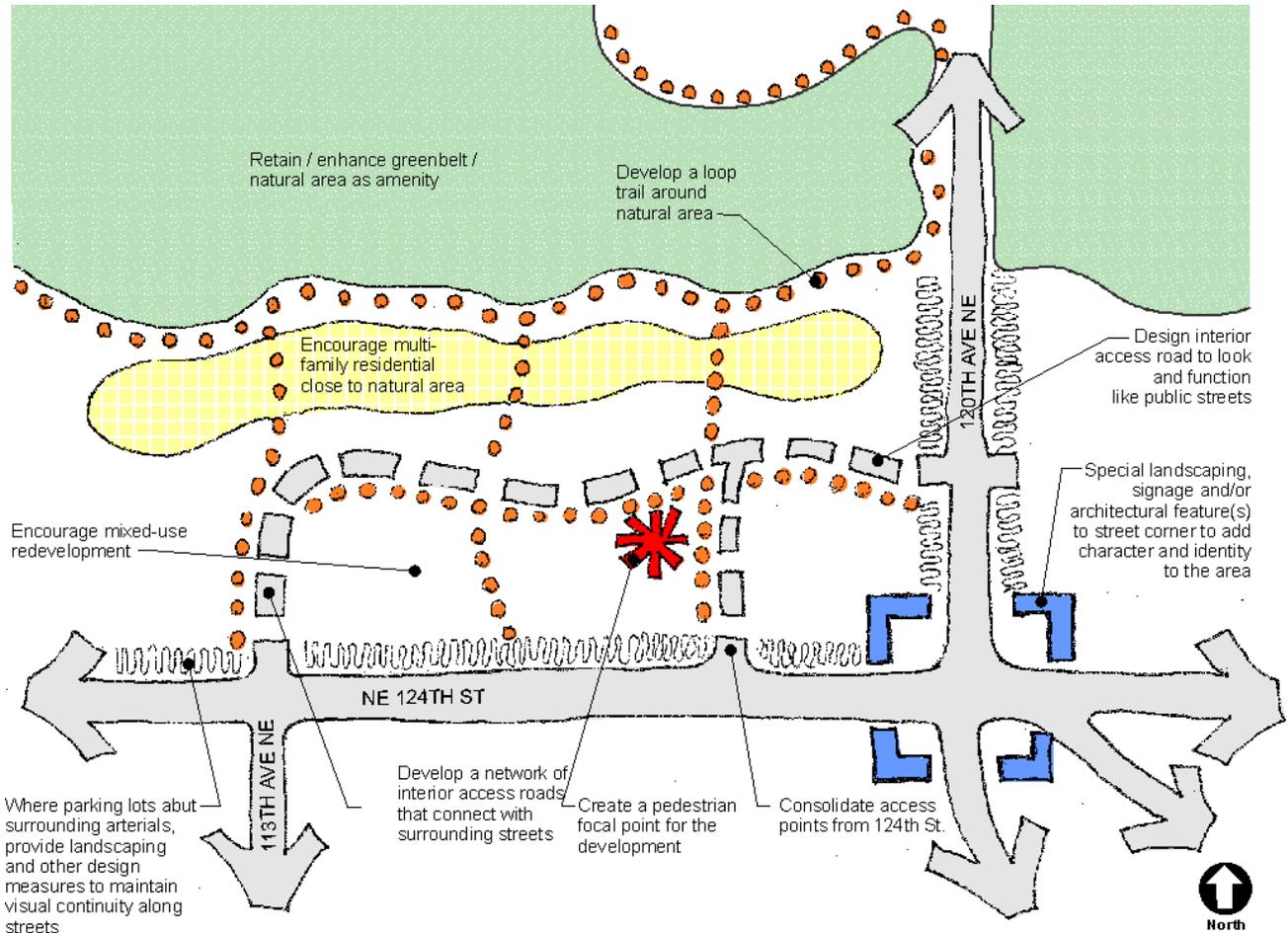
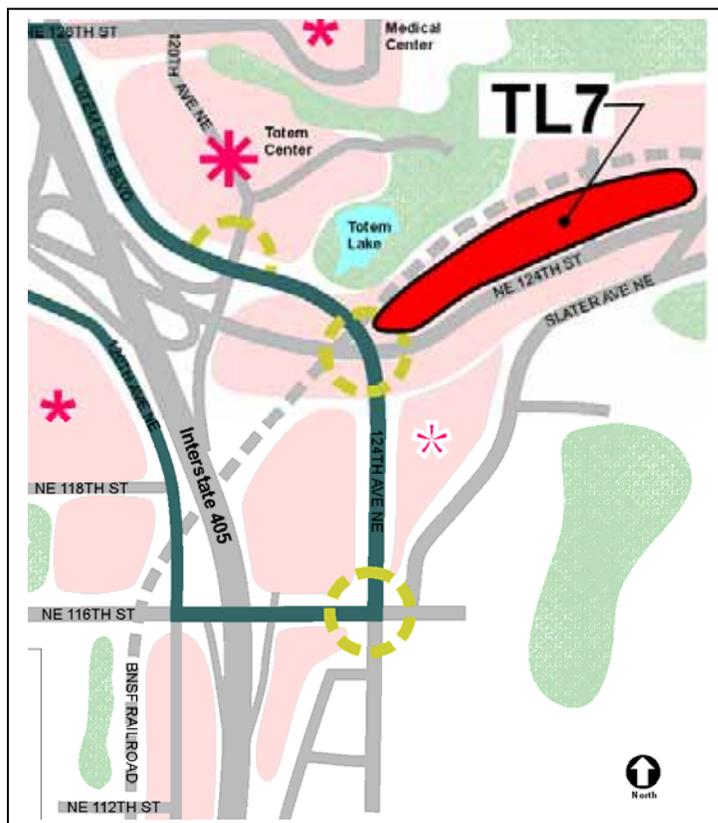


Figure 7. TL 6B Village Design Concept.

Vision for TL 7

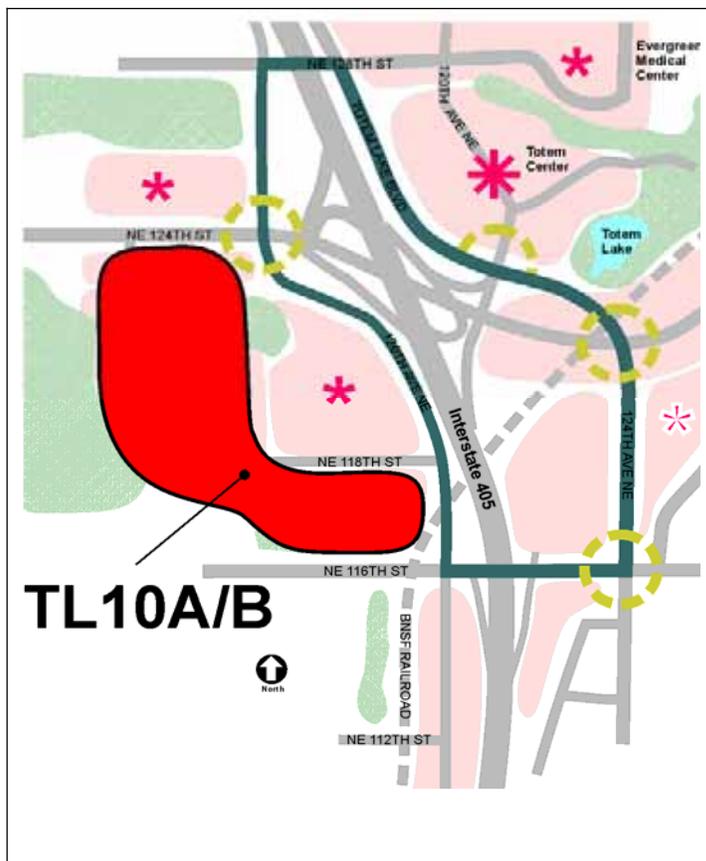
Located at a key gateway to the City from the east, the TL 7 district lies on the north side of the NE 124th Street arterial, just on the southeastern edge of Totem Center. A gateway feature at the district's eastern boundary, as well as attractive landscaping, street lighting and signage throughout the area will provide an inviting image at the entrance to the neighborhood and City.

The district is ideally located to feature a combination of uses and business oriented to the City and greater region. Large parcels in the district are particularly well-suited to display for automobile sales.



Vision for TL 10A and TL 10B

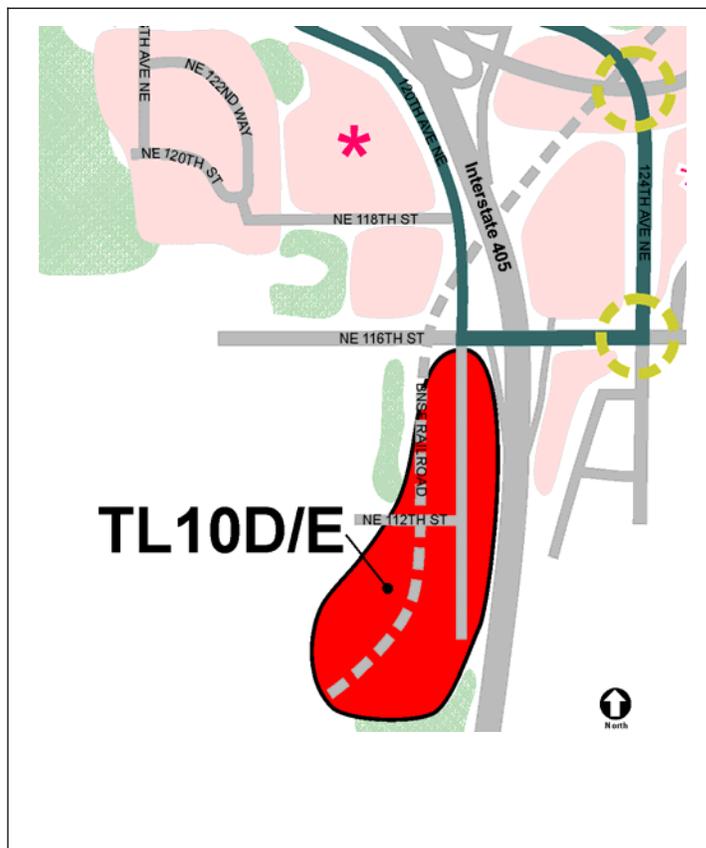
The I-405 Corporate Center in TL 10A is a business park that serves as a model of coordinated efforts in signage and building design for the areas in transition to the south. New development in the area will continue to complement existing structures. District TL 10B to the south provides the link between the established Corporate Center and the evolving office park area in TL 10D and TL 10E to the south. Development in this partially wooded area provides a mix of housing and office uses. The topography and vegetation in the area enable taller residential buildings to be well situated to avoid impacts to the residential areas to the west, while providing a significant housing resource for the neighborhood and the city.



Vision for TL 10D and TL 10E

Visibility and proximity to I-405, as well as the land's elevation below the freeway to the east and the residential areas to the west, provide for substantial redevelopment opportunities throughout these districts. As uses in the area convert from manufacturing and light industrial to office, high-tech and residential (within TL 10D), development in the area can begin to create a more cohesive and distinct visual image. Supportive service and retail uses will add to the area's appeal for workers and residents, and reduce the need for travel outside the district.

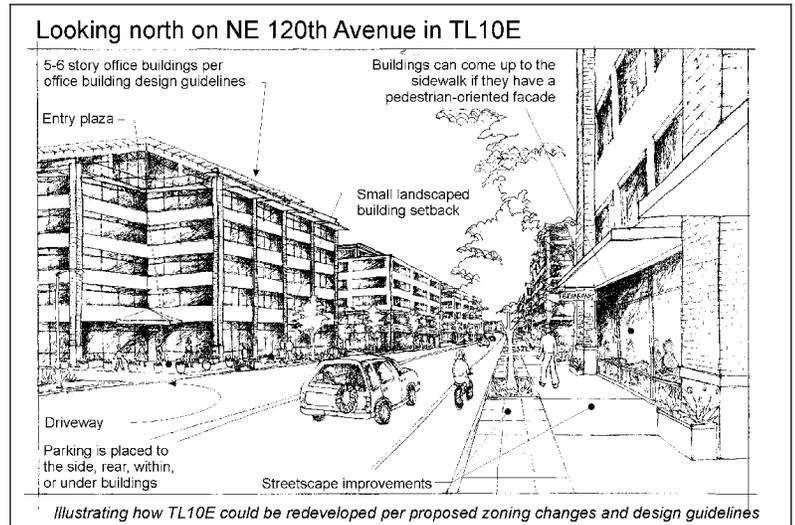
Taller buildings can be accommodated here with minimal visual impacts to territorial views from the freeway. Consideration of elements that produce distinctive roof forms and minimize mass at upper levels will contribute to a skyline that is visually interesting.



Common streetscape elements aimed at the creation of a pleasant pedestrian-oriented environment will be very important in this area.

A successful residential community within the western portion of the area (TL 10D) will provide a close-in housing location for Totem Lake employees and add evening activity to the district. Attractive walkways to connect residents within TL 10D to points east and north will be important to ensure the success of the mix of uses throughout the area.

Support for shared and coordinated signage throughout the district will help to minimize visual clutter and contribute to the visual identity of the area.



Vision for Large-Site Development

Larger sites within the Totem Lake neighborhood present opportunities for master planning to provide coordinated development. Within TL 4 for example, a vibrant mixed-use center could be created, combining retail, office and residential uses. While parcels in this area and others in the neighborhood can provide an attractive face along the major traffic corridors, many are large enough to provide their own interior vehicular and pedestrian pathways, as well as focal points for pedestrians. These may include a plaza area surrounded by shops, or wide sidewalk areas along an interior access street.

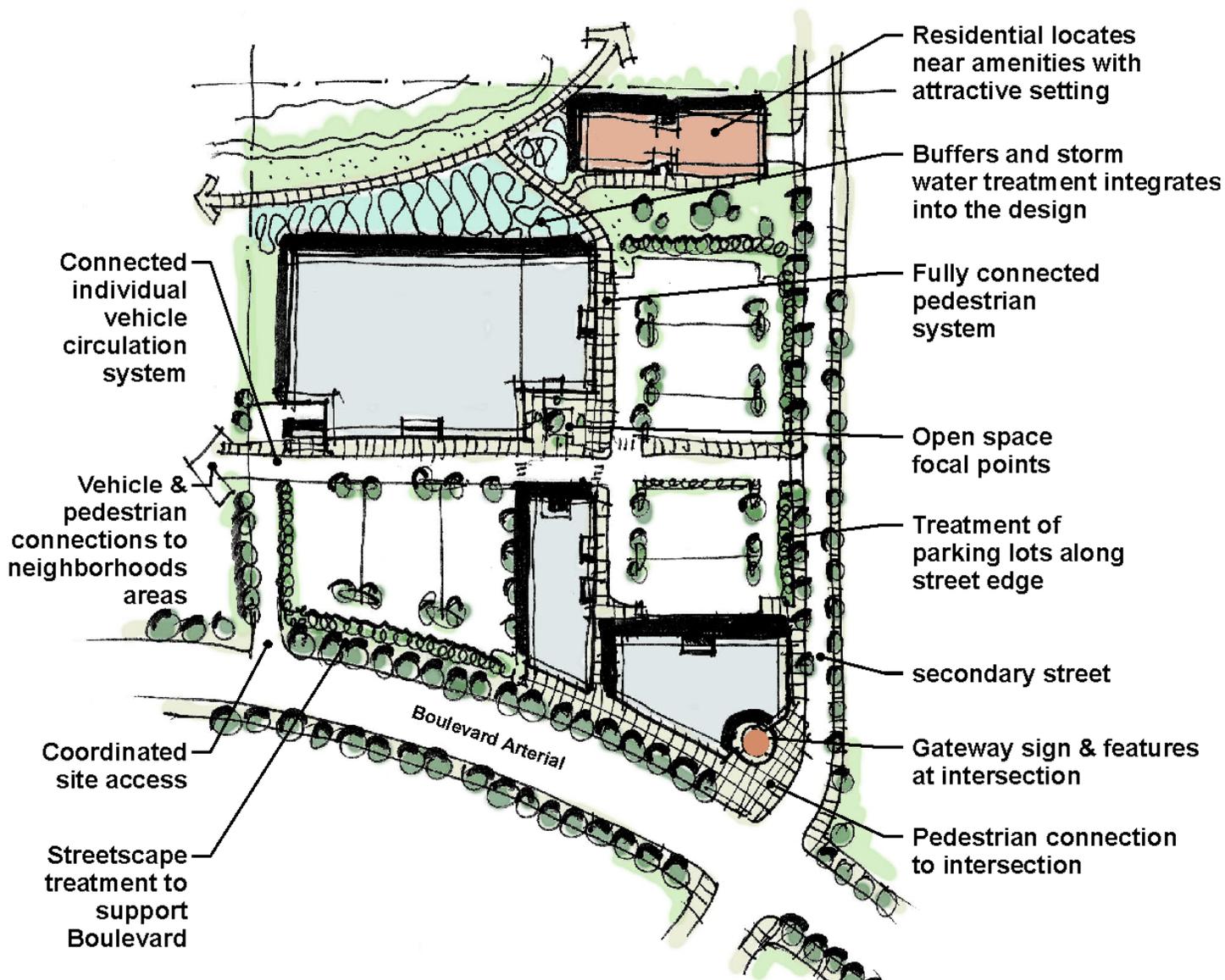


Figure 8. Conceptual design guidelines for large site development in Totem Lake.

Vision for Landscaped Boulevard

The Totem Lake Plan envisions the creation of a landscaped boulevard that links the four quadrants of the neighborhood through enhanced landscape and public amenities. The boulevard will provide a hospitable environment for pedestrians and drivers through reducing scale, providing shade and seasonal interest and reducing noise levels. Improvements may include widened and meandering planting areas, continuous and clustered tree plantings and shrubbery, and plantings varying in seasonal color, texture and shape. Other elements, such as lighting, directional signs, benches, varying pavement textures and public art will further enhance the route and experience.

The boulevard will not only visually connect the neighborhood's separate areas, but will also help local circulation. In most areas, existing rights-of-way can be used to create the boulevard. In others, dedication may be necessary to provide the necessary improvements and amenities.

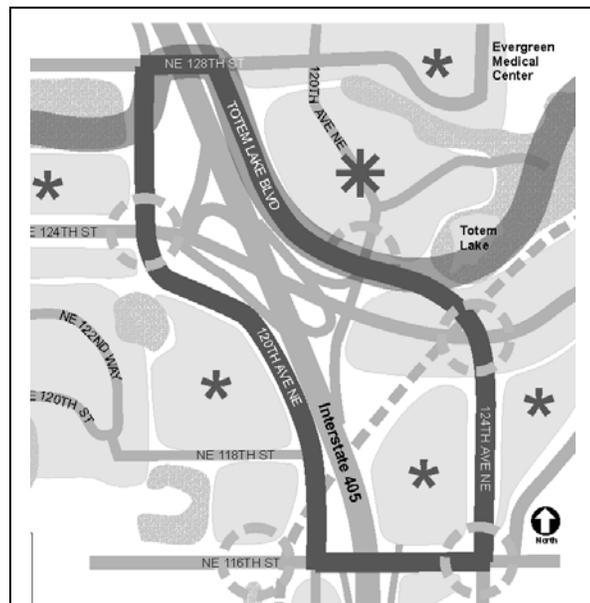


Figure 9. A series of landscaped boulevards (a.k.a. the Totem Lake Ciculator) links the various quadrants of the Totem Lake area.

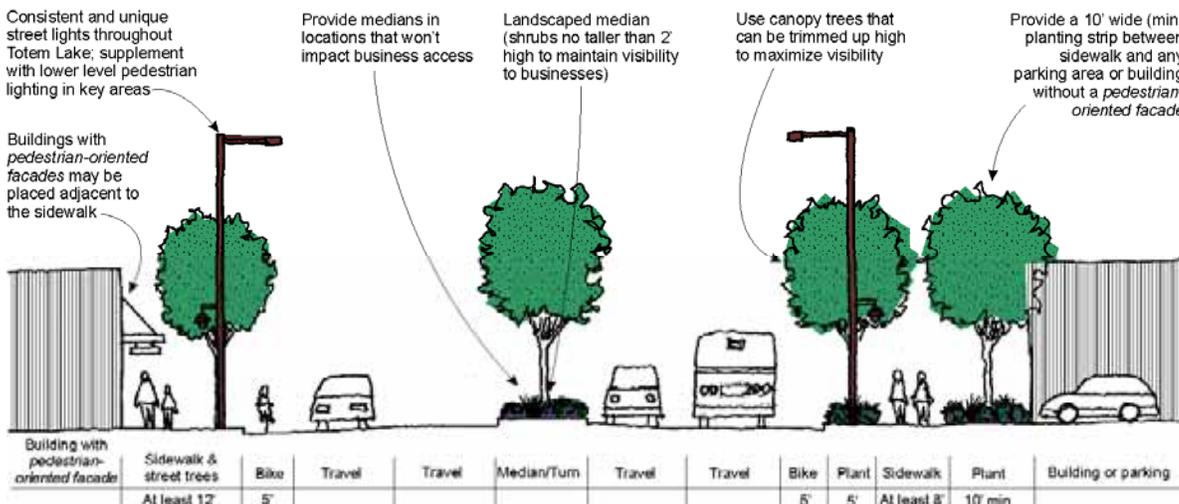


Figure 10. Conceptual design guidelines for large site development in Totem Lake



Figure 11. Colorful streetscape plantings can strengthen the character and identity of the Totem Lake area.

Design Guidelines

The following design guidelines for Totem Lake Neighborhood (TLN) are intended to help guide the future development of the neighborhood toward the future vision described in the Totem Lake Neighborhood Plan and elsewhere in this document. These guidelines include both neighborhood-wide measures and unique measures specific to individual districts or sites within Totem Lake.

Improvements to streets, parks and the development of new public facilities will create a dynamic setting for civic activities and private development.

1. Entry Gateway Features

The Comprehensive Plan calls for gateway features at the key entry points into neighborhoods and business districts.

Objectives

- To enhance the character and identity of the Totem Lake Neighborhood.

Guideline

Incorporate entry gateway features in new development in the vicinity of gateways/nodal intersections identified in the Concept Map (Figure 1). Gateway features should incorporate design elements associated with or desired in the neighborhood, depending on available space. Gateway features should include some or all of the following:

- Distinctive landscaping, including suggested common landscaping elements from the City's Urban Forester.
- Artwork (e.g. vertical sculpture incorporating historical information about Totem Lake).
- A gateway sign with the City logo.
- Multicolored masonry forming a base for an entry sign.
- Decorative lighting elements.

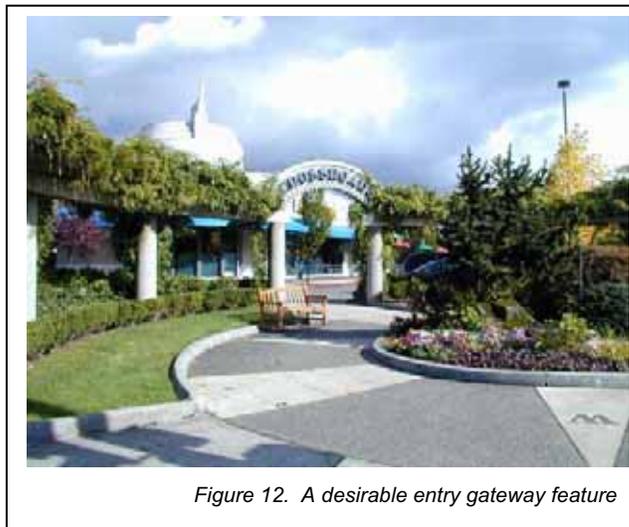


Figure 12. A desirable entry gateway feature

2. Street Trees

Objectives

- To upgrade the character and identity of the Totem Lake Neighborhood.
- To enhance the pedestrian environment on the Totem Lake Neighborhood.
- To use trees that provide seasonal interest.
- To use trees appropriate to the urban environment of the Totem Lake Neighborhood.

Discussion

The repetition of trees bordering streets, internal roadways, and pathways can unify a community's landscape. Trees can add color, texture, and form to the urban environment. A strong street tree planting scheme can establish community identity and provide a respite from the weather and the built environment.

Guidelines

- a. Incorporate street trees along all streets, internal access roads, and pathways.
- b. Encourage developments to use street trees as a unifying feature of the development.
- c. Select and maintain tree species that will accommodate pedestrian and vehicular traffic, and maintain visibility into and through sites for safety purposes.



Figure 13. Provide street trees along all streets and internal access roads

3. Street Corners

Objectives

- To enhance the appearance of highly visible locations.
- To upgrade the character and identity of the Totem Lake Neighborhood and its individual districts.
- To enhance pedestrian access and safety.

Discussion

Street corners, especially along arterial corridors, provide special opportunities for visual punctuation and an enhanced pedestrian environment. Buildings on corner sites that incorporate architectural design elements create visual interest for the pedestrian and provide a sense of human proportion and scale.



Figure 14. This building uses a cropped corner with entry and decorative roofline, building materials, and details to provide visual interest

Guidelines

- a. Encourage design treatments that emphasize street corners through the use of building location and design, plaza spaces, landscaping, distinctive architectural features, and/or signage. Street corners can be an excellent location for plazas, particularly where adjacent storefronts and building entries are provided. In auto-oriented areas, landscaping elements on street corners can enhance the character of the area and visual relief from pavement areas. Such landscaping elements should incorporate a variety of plant types and textures that add seasonal interest.
- b. Encourage all buildings located at or near street corner to incorporate special architectural elements that add visual interest and provide a sense of human proportion and scale. This could include a raised roofline, turret, corner balconies, bay windows, special awning or canopy design, and/or distinctive use of building materials (see the following examples).

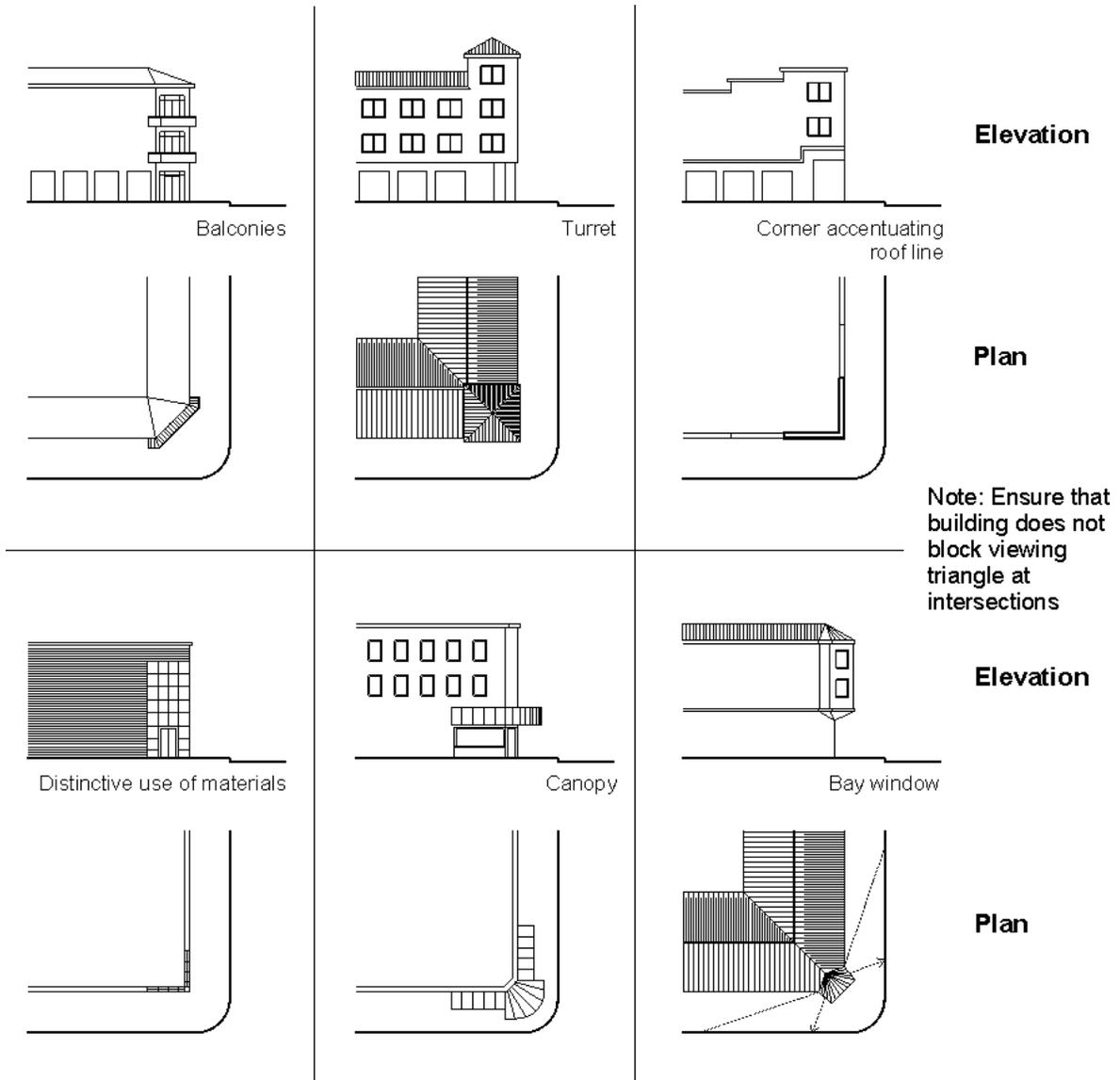


Figure 15. Desirable building elements for street corners.

4. Pedestrian-Friendly Building Fronts

Objectives

- To enhance the pedestrian environment within the Totem Lake Neighborhood.
- To create safe and active sidewalks and pathways.

Guidelines

Incorporate transparent windows and doors and weather protection features along all non-residential facades adjacent to a sidewalk or internal pathway. Weather protection features could include awnings, canopies, marquees, or other permitted treatments.

Alternative treatments may be considered if they meet the objectives. For example, reduced transparency and weather protection levels may be considered if an alternative configuration provides other amenities above and beyond what is required by KZC Chapter 92 and the Design Guidelines, and if the building details and architectural treatments provide interest at close range and won't "deaden" the pedestrian environment or create a potential safety problem.



Figure 16. An example of a pedestrian-friendly building façade

5. Building Location and Orientation

Objectives

- To enhance the character and identity of the Totem Lake Neighborhood.
- To upgrade the appearance of streets within the Totem Lake Neighborhood.
- To increase pedestrian circulation.
- Create focal points, particularly on large sites.
- To encourage development configurations that minimize negative impacts to adjacent single family residential areas.



Figure 17. Encourage developments to place parking lots to the side or rear, as accomplished here

Guidelines

- a. Locate and orient buildings toward streets, plazas or common open spaces, and major internal pathways, with parking to the side and/or rear.
- b. Configure buildings to create focal points of pedestrian activity. This is particularly important on large sites.
- c. Configure development to provide opportunities for coordinated pedestrian and vehicular access. Where there are no current opportunities for coordinated access, developments should provide the opportunity for future coordination, where desirable, should the adjacent site be redeveloped in the future.
- d. Site and orient multi-story buildings to minimize impacts to adjacent single family residents. For example, if a multi-story building is located near a single family property, provide landscaping elements and/or minimize windows and openings to protect the privacy of adjacent homes. Another consideration is to increase upper level building setbacks.
- e. Encourage vehicle sales uses to locate their showrooms towards the street (with parking to the side or rear):
 - Allow designated vehicle display areas between a portion of the property street frontage if the display is integrated creatively with the landscaping. This could include cars on a rock outcropping or on a discreet structure that allows a display vehicle to “float” over the landscaping.
 - Allow increased signage through coordinated master sign plans.
 - Allow modifications in perimeter landscaping adjacent to a street.

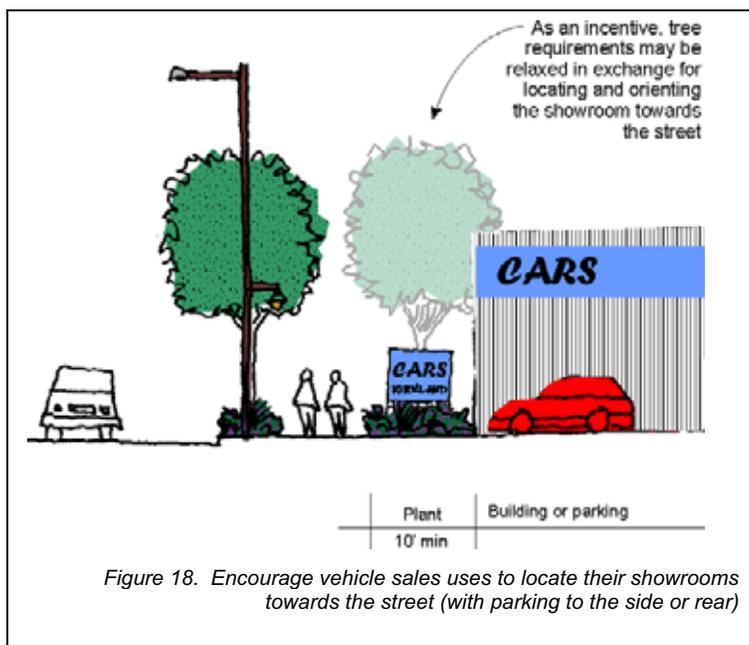


Figure 18. Encourage vehicle sales uses to locate their showrooms towards the street (with parking to the side or rear)

- f. Encourage buildings located adjacent to any street to orient to the street. This includes pedestrian entries from the sidewalk and windows facing the street. Avoid fences or hedges that block visibility between buildings and the street. Exceptions may be considered consistent with the objectives and guidelines herein.

Special considerations in Districts TL 5, TL 6B and other Large Site Developments

1. TL 5: In this district where buildings may front on more than one street, first priority for building orientation should be to any designated pedestrian oriented street.
2. TL 6A: Residential buildings located adjacent to NE 120th Street should be oriented toward this street and to Slater Avenue NE. Common and/or individual entries and windows should face the street. Parking areas should not be located between the building and the street.
3. TL 6B: Single purpose residential buildings should be configured and oriented to take advantage of the greenbelt area to the north. For example, buildings could be arranged in a courtyard layout with the courtyard opening towards the greenbelt area.
4. TL 5, TL 6B and other Large Site Development: Where buildings front on both streets and interior pathways, building orientation may be to internal focal points and streets. Parking areas should not occupy the majority of a site's frontage.
5. TL 5, TL 6B and other Large Site Development: Where buildings are oriented to an interior open space or courtyard, primary building entries may orient to the open space provided there is direct visibility in to the open space from the sidewalk. Windows should be provided on the street façade.

6. Sidewalk and Pathway Widths

Objectives

- To provide wide sidewalks and pathways that promote an increase in pedestrian activity within the Totem Lake Neighborhood.

Discussion

Sidewalks have three overlapping parts with different functions: the curb zone, the movement zone, and the storefront or activity zone. A well-sized and uncluttered movement zone allows pedestrians to move at a comfortable pace.

Guidelines

- Integrate a "curb zone" into the sidewalk or pathway width. This space can include street trees, newspaper stands, street signs, garbage cans, phone booths, mail boxes, etc. Subtle changes in paving patterns between the curb zone and the movement zone can be effective and should be considered.

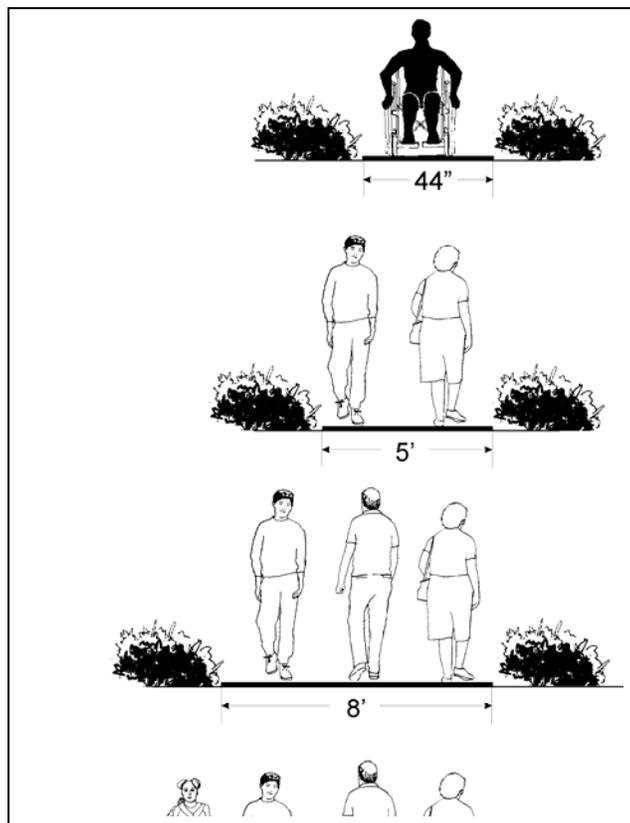


Figure 18

Pathway widths depend on level of activity and location

- b. Sidewalks or pathways adjacent to moving vehicular traffic need generous buffers to make them safer and more inviting. Landscaping elements are particularly important physical and visual buffers between walkways and streets or other vehicle access areas. As a general rule, the higher the travel speed, the greater the buffer should be between moving cars and pedestrians.
- c. Design sidewalks and pathways to support a variety and concentration of activities and provide a separation for the pedestrian from the busy street. Specifically:

Considerations for the “movement zone” widths:

- Curb zones with parallel parking typically need 4’-6’; without parallel parking: 3’-4’.
- 12’ accommodates 4 persons walking abreast.
- 8’ accommodates 3 persons walking abreast.
- 5’ accommodates 2 persons walking abreast.

Considerations for the “store front zone” widths:

- Outdoor dining uses: 6’ allows for one table.
- Outdoor displays typically need at least 4’ (6’ preferable).



Figure 20. High-traffic streets without on-street parking warrant wider planting strip buffers

7. Pedestrian Coverings

Objectives

- To provide shelter for pedestrians.
- To provide spatial enclosure and add design interest to a retail or office streetscapes.

Discussion

The design and width of pedestrian coverings should be determined by their function, the building's use and the type of street.

As a general rule, the more traffic an entry is expected to accommodate, the larger the covered area should be at the entry. Larger porches and covered entries also invite pedestrian activity. For example, a 5' x 5' covered area allows two adults to converse comfortably out of the rain. A 3' to 4' wide canopy will provide rain cover for window-shopping, a 5' wide or greater canopy will provide cover for a street sale, and a 7' to 8' wide canopy will provide room for a window shopper and a passing couple.

The width of the sidewalk should also be considered when sizing the pedestrian covering (wider sidewalks can accommodate wider pedestrian coverings). Canopies and awnings should be appropriately dimensioned to allow for tree growth, where applicable. The architecture of the building and the spacing of individual storefronts should help determine the appropriate placement and style of the canopy or awning. Continuous, uniform awnings or canopies, particularly for multi-tenant retail buildings, can create a monotonous visual environment and are discouraged.

Guidelines

- a. Provide weather protection along the primary exterior entrance of all businesses, residential units, and other buildings.
- b. Design weather protection features to provide adequate width and depth at building entries.
- c. Pedestrian covering treatments may include: covered porches, overhangs, awnings, canopies, marquees, recessed entries or other similar features. A variety of styles and colors should be considered, where compatible with the architectural style of the building and the ground floor use.
- d. Back lit, plastic awnings are not appropriate.

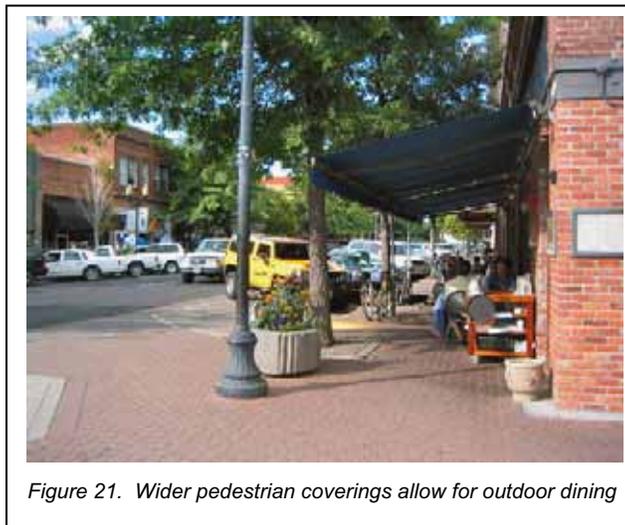


Figure 21. Wider pedestrian coverings allow for outdoor dining

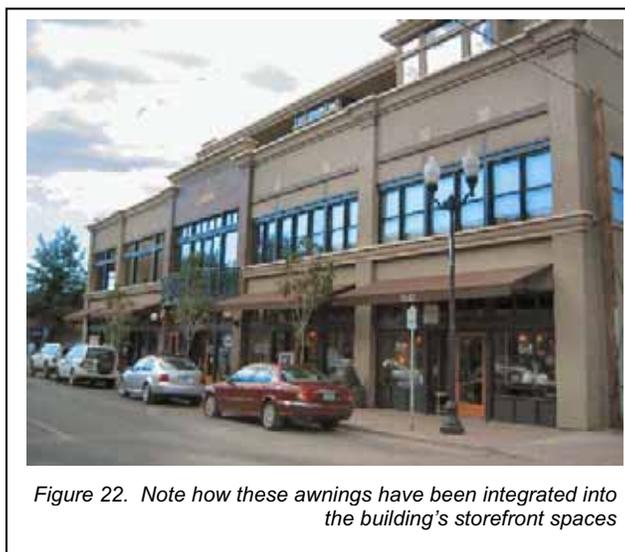


Figure 22. Note how these awnings have been integrated into the building's storefront spaces

8. Blank Walls

Objectives

- To minimize visible blank walls.
- To enhance public safety along sidewalks and pathways.
- To encourage design elements that enhance the character of buildings at all perceived distances.

Discussion

Blank walls on commercial street frontages deaden the pedestrian environment and can break the continuity of uses along a street or pathway. Blank walls can also create a safety problem, particularly where adjacent to pedestrian areas, as they don't allow for natural surveillance of those areas. However, in some cases fire walls, for example, require the intrusion of a flat, unadorned surface. The adverse impact of a blank wall on the pedestrian streetscape can be mitigated through the methods listed in the Guidelines below.

Guidelines

Avoid blank walls near sidewalks, major internal walkways, parks, and pedestrian areas. The following treatments mitigate the negative effects of blank walls (in order of preference):

- Configure buildings and uses to minimize blank walls exposed to public view.
- Provide a planting bed with plant material to screen most of the wall.
- Install trellises with climbing vines or plant materials to cover the surface of the wall. For long walls, a trellis or trellises should be combined with other design treatments to avoid monotony.
- Provide artwork on the wall surface.
- Provide architectural techniques that add visual interest at a pedestrian scale. This could include a combination of horizontal building modulation, change in building materials and/or color, and use of decorative building materials.
- Other treatments may be proposed that meet the intent of the guidelines.



Figure 23. For large walls, landscaping beds with trees and shrubs are encouraged



Figure 24. This building was a combination of alternating building materials, details, and landscaping elements to add visual interest at a close range

9. Lighting

Objectives

- To enhance safety.
- To create inviting pedestrian areas.
- To provide adequate lighting without creating excessive glare or light levels.

Discussion

Overpowering and uniform illumination from commercial uses creates glare and destroys the quality of night light, especially for adjacent residential areas. Well placed light fixtures will form individual pools of light and maintain sufficient lighting levels for security and safety purposes.

Guidelines

- a. Provide adequate lighting levels in all areas used by pedestrians and automobiles, including building entries, walkways, parking areas, circulation areas, and open spaces. Recommended minimum light levels:
 - Building entries: 4 foot candles
 - Primary pedestrian walkway: 2 foot candles
 - Secondary pedestrian walkway: 1-2 foot candles
 - Parking lot: .60 -1 foot candle
 - Enclosed parking garages for common use: 3 foot candles
- b. Lighting should be provided at consistent levels, with gradual transitions between maximum and minimum levels of lighting and between lit areas and unlit areas.
- c. Building facades in pedestrian areas should provide lighting to walkways and sidewalks through building mounted lights, canopy- or awning-mounted lights, and display window lights. Encourage variety in the use of building-mounted light fixtures to give visual variety from one facade to the next.
- d. Minimizing impacts of lighting on adjoining activities and uses should be considered in the design of lighting. This is particularly important adjacent to residential uses.

Parking lot light fixtures should be non-glare and mounted no more than 15' above the ground. Lower level lighting fixtures are preferred to maintain a human scale. Lights up to 20' may be used for safety, when needed. Ideally, all exterior fixtures should be fitted with a full cut-off shield to minimize light spill over onto adjoining properties.



Figure 25. Building-mounted lighting is encouraged to enhance the pedestrian environment

10. Pedestrian Amenities

Objectives

- To provide amenities that enrich the pedestrian environment.
- To increase pedestrian activity in the Totem Lake Neighborhood.

Discussion

Site features and pedestrian amenities, such as lighting, benches, paving, waste receptacles, and other site elements, are an important aspect of a business district's character. These elements reduce apparent walking lengths and unify the district's visual character.

Guidelines

Provide pedestrian amenities along all sidewalks, interior pathways and within plazas and other open spaces. Desired amenities include:

- Pedestrian-scaled lighting (placed between 12'-15' above the ground).
- Seating space. This can include benches, steps, railings and planting ledges. Heights between 12" to 20" above the ground are acceptable, with 16" to 18" preferred. An appropriate seat width ranges from 6" to 24".
- Pedestrian furniture such as trash receptacles, consolidated newspaper racks, bicycle racks, and drinking fountains.
- Planting beds and/or potted plants.
- Unit paving such as stones, bricks, or tiles.
- Decorative pavement patterns and tree grates.
- Water features.
- Informational kiosks.
- Transit shelters.
- Decorative clocks.
- Artwork.



Figure 29. Consolidated newspaper racks



Figure 26. Bicycle racks



Figure 27. Potted plants



Figure 17. Decorative pavement patterns (top), benches and pedestrian-scale lighting (middle), and informational kiosk (bottom)



Figure 29. This example combines a sculptural water feature with landscaping

11. Interior Pedestrian Connections

Objectives

- To enhance pedestrian access to the street, adjacent uses, and adjacent sites, where desirable.
- To make it easier to walk between uses.
- To reduce vehicle trips within the neighborhood.
- To promote pedestrian activity.
- To enhance pedestrian access through parking lots and between the street and uses.

Guidelines

- a. Provide convenient pedestrian access between the street, bus stops, buildings, parking areas, and open spaces. Internal pedestrian connections are particularly important on large sites where some uses may be placed away from a street.
- b. Design all buildings abutting a public sidewalk or major internal pathways to provide direct pedestrian access to the sidewalk or pathway.
- c. Provide interior pedestrian connections to adjacent properties containing similar uses or complementary uses. This is most applicable to large lots and where storefronts or other uses are set back away from the street. Where an existing connection is not desirable or possible due to the nature of development on the adjacent site, the applicant should provide an opportunity for a future pedestrian connection where such a connection is desirable and future redevelopment of the adjacent site is possible.
- d. Provide paved walkways through large parking lots. One walkway should be provided for every three parking aisles. Such access routes through parking areas should be separated from vehicular parking and travel lanes by use of contrasting paving material which may be raised above the vehicular pavement and by landscaping.

Special Considerations in TL 6B and TL 4

- e. TL 6B.: Develop a trail along the northern edge of the property to take advantage of the site's greenbelt setting. Provide a landscaped buffer area between the trail and any adjacent residential buildings to enhance the character of the trail and provide privacy to adjacent residents.

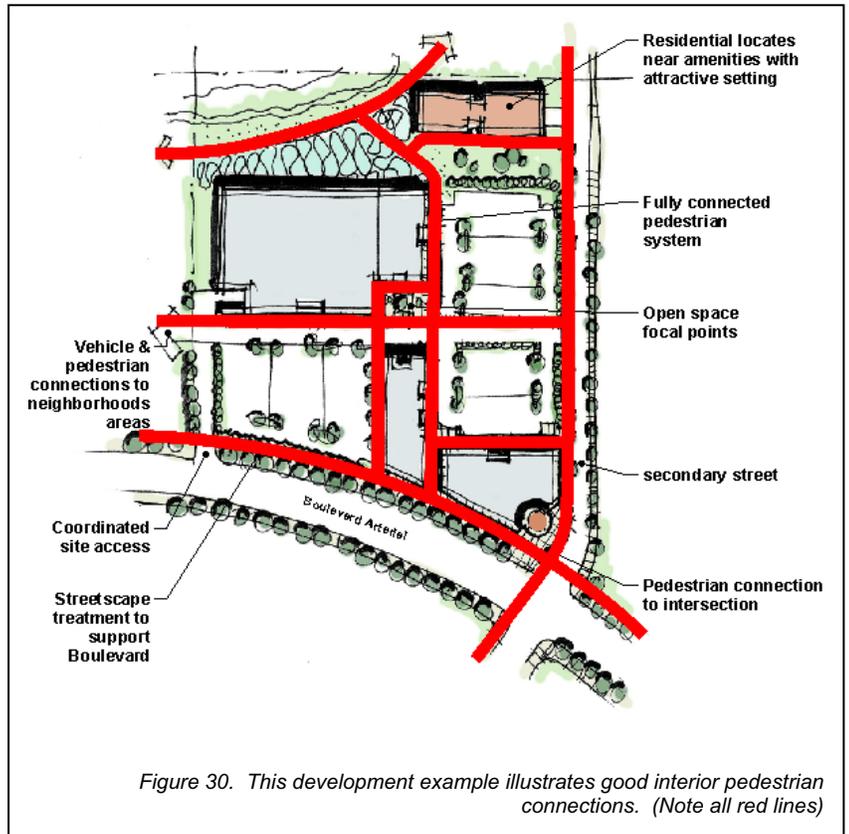


Figure 30. This development example illustrates good interior pedestrian connections. (Note all red lines)

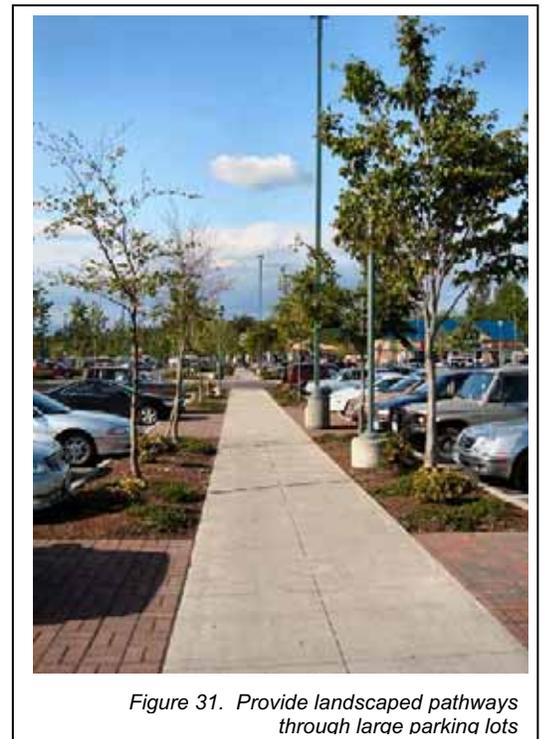


Figure 31. Provide landscaped pathways through large parking lots

- f. TL 6B Enhance connections to TL 10A to the south, to ensure safe and convenient access for employees in TL 10A and the shopping district in TL 6B.
- g. TL 4 Provide for safe and convenient access between development in TL 4 (west of I-405) and the business park directly to the west in TL 10A.

12. Pedestrian Plazas

Objectives

- To provide a variety of pedestrian-oriented areas to attract shoppers to commercial areas and enrich the pedestrian environment.
- To create gathering spaces for the community.
- To configure buildings and uses to encourage pedestrian activity and pedestrian focal points.

Guidelines

- a. Provide pedestrian plazas in conjunction with non-residential uses.
- b. Position plazas in visible locations on major streets, major internal circulation routes, close to bus stops, or where there are strong pedestrian flows on neighboring sidewalks. For large sites, development should be configured to create a focal plaza or plazas. Plazas should be no more than 3' above or below the adjacent sidewalk or internal pathway to enhance visibility and accessibility.
- c. Incorporate plenty of benches, steps, and ledges for seating. A combination of permanent and moveable seating is encouraged. Seating areas should be provided with views of amenities, landscaping elements, or people watching.
- d. Provide storefronts, street vendors, or other pedestrian-oriented uses, to the extent possible, around the perimeter of the plaza
- e. Provide landscaping elements that add color and seasonal interest. This can include trees, planting beds, potted plants, trellises, and hanging plants.
- f. Incorporate pedestrian amenities, as described in Section 10.
- g. Consider the solar orientation and the wind patterns in the design of the open space and choice of landscaping.
- h. Provide transitional zones along building edges to allow for outdoor eating areas and a planted buffer.

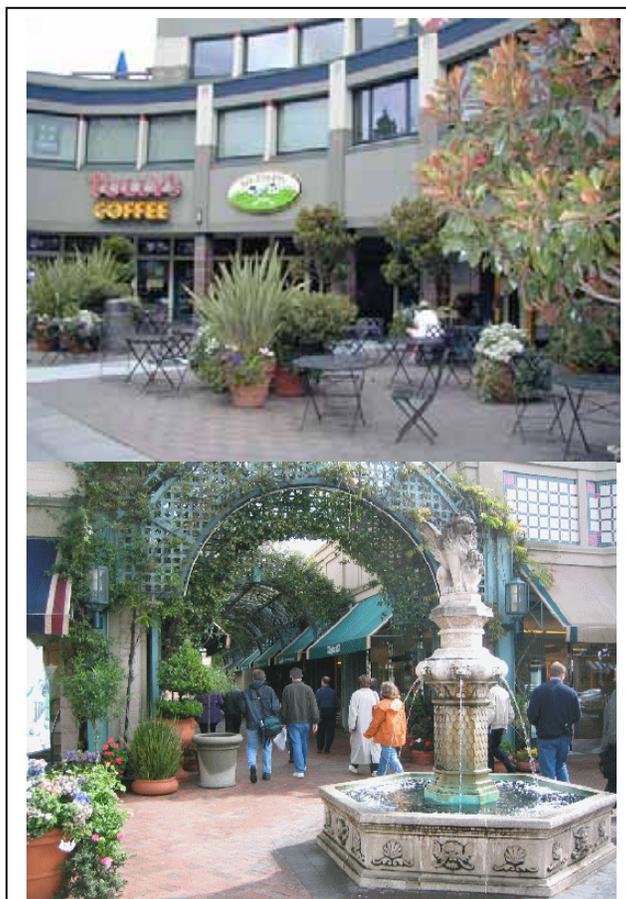


Figure 32. Good examples of pedestrian plazas. Notice the

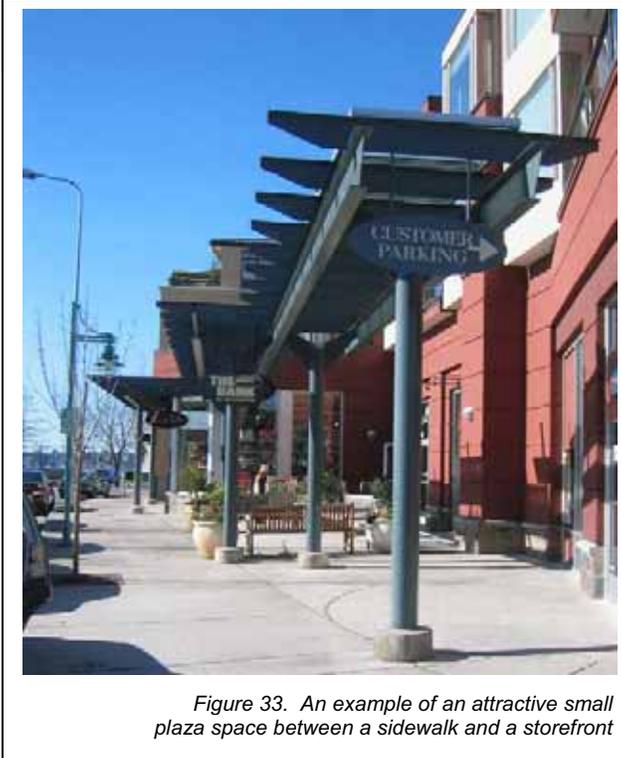


Figure 33. An example of an attractive small plaza space between a sidewalk and a storefront

13. Residential Open Space

Objectives

- To create useable space that is suitable for leisure or recreational activities for residents.
- To create open space that contributes to the residential setting.

Guidelines

- a. Incorporate common open space into multi-family residential uses. In the Totem Lake Neighborhood, where very high density residential uses are allowed, the quality of the space in providing respite from the buildings on the site is more critical than the amount of space provided. In some developments, multiple smaller spaces may be more useful than one, larger space. Special recommendations for common open space:
 - Consider open space as a focal point of the residential development.
 - Where possible, open space should be large enough to provide functional leisure or recreational activity. For example, long narrow spaces rarely, if ever, can function as usable common space.
 - Open space should provide for a range of activities and age groups. Children's play areas in particular should be visible from dwelling units and positioned near pedestrian activity.
 - Residential units adjacent to the open space should have individual entrances to the space. Preferably, these units should include a small area of semi-private open space enclosed by low level landscaping or hedges (no taller than 42").
 - Open space should feature paths, seating, lighting, and other pedestrian amenities to make the area more functional and enjoyable. It should be oriented to receive sunlight, (preferably south).
 - Separate common space from ground floor windows, streets, service areas, and parking lots with landscaping and/or low-level fencing. However, care should be used to maintain visibility from dwelling units towards open space for safety.
- b. Provide private open space for multi-family residential units. For townhouses and other ground-based housing units, provide patios, decks, and/or landscaped front or rear yards adjacent to the units. For all other units, provide balconies large enough to allow for human activity.



Figure 34. Good examples of common open space, including street-level courtyards (left), a children's play area (top right), and a pedestrian corridor (lower right)

14. Parking Lots and Vehicular Circulation

Objectives

- To minimize the impact of parking facilities on the fronting street, pedestrian environment, and neighboring properties.
- To enhance pedestrian and vehicular safety.
- To maintain desired traffic flow on Totem Lake arterials.
- To promote shared parking
- To provide attractive and connected vehicular circulation routes.

Discussion

Parking lots can detract from the pedestrian and visual character of a commercial area. The adverse impacts of parking lots can be mitigated through sensitive design, location, and configuration. Large parking lots can be confusing unless vehicle and pedestrian circulation patterns are well organized and marked. The Totem Lake Neighborhood Plan encourages shared parking between properties to reduce curb cuts, reduce congestion of cars turning in and out of parking lots and consolidating consumer trips between businesses.

Where not specifically prohibited, drive-through facilities for some uses such as fast food restaurants, pharmacies, or auto oriented uses may be appropriate if designed to minimize vehicle queuing along rights of way, blocking driveways or parking aisles, or impeding pedestrian movement. Aesthetically, drive-throughs should be located away from street frontages or screened as viewed from the right of way.

Guidelines

Driveways

- a. Minimize the number of curb cuts into a development, particularly off of arterials. To the extent possible, adjacent developments should share driveways.

▪Parking Lot Location and Design

- b. Locate vehicular parking areas to the side or rear of buildings, to the extent possible.
- c. Avoid parking layouts that visually dominate a development. Break up large parking lots into smaller ones.
- d. Take advantage of topography to hide parking underneath buildings.
- e. Provide a clear and well organized parking lot design. Space should be provided for pedestrians to walk safely in all parking lots.

Parking Lot Landscaping

- f. Integrate landscaping into parking lots to reduce their visual impact. Provide planting beds with a variety of trees, shrubs, and ground cover to provide visual relief, summer shade, and seasonal interest.

Parking Lot Screening

- g. Provide low level screening and perimeter landscaping where parking is adjacent to sidewalks in order to improve visual qualities and reduce clutter. While vertical elements such as trees, are encouraged to define the street edge, all screening methods should maintain visibility at eye level between the street and parking area. For instance, hedges or walls should not be taller than 3 feet and trees should be trimmed to allow visibility between 3 and 8 feet above the ground.
- h. Provide extensive screening and landscaping between parking lots and residential uses and open spaces. A combination of a screen wall with a landscape buffer is preferred.

Vehicular Circulation

- j. Develop an efficient internal vehicular access system that minimizes conflicts with pedestrians and vehicular traffic. For TL 5, TL 6A, and TL 6B, see the “Redevelopment Concept” illustrations in the Introduction.
- k. Configure development to provide interior vehicular connections to adjacent uses, where desirable. Where current connections to adjacent uses are not feasible, but desirable in the future, configure development to provide the opportunity for a future connection, should the adjacent site be redeveloped.
- l. Avoid parking lot configurations with dead-end lanes.
- m. Configure internal access roads to look and function like public streets. This is most applicable to larger sites, such as those in TL 5 and TL 6B, where an internal vehicular circulation system is critical to access interior portions of the sites. The most desirable configuration would include on-street parking, street trees and sidewalks on both sides of the roadway.



Figure X.

Drive-Through Facilities

- n. Design drive-through windows to be oriented away from the street frontage and preferably not located between a building and the street. Where drive-through lanes face a street, avoid large featureless walls and provide sufficient landscaping to soften the visual impact of vehicle stacking areas for drive through windows. Locate driving lanes so as not to interfere with pedestrian or vehicular circulation.

15. Parking Garages

Objectives

- To mitigate the visual impacts of parking garages in the urban environment.

Guidelines

- a. Mitigate the intrusive qualities of parking garages. Along streets, pedestrian pathways and in pedestrian areas, ground-level commercial uses should be incorporated into parking structures. Extensive landscaping should be used to screen the parking garage near residential areas and in high visibility locations.



Figure 39. This parking garage includes streetfront retail space and landscaped trellises to mitigate visual impacts on the streetscape

- b. Design and site parking garage entries to complement, not subordinate the pedestrian entry. If possible, locate the parking entry away from the primary street, to either the side or rear of the building.
- c. Use similar architectural forms, materials, and/or details to integrate the garage with the development.
- d. Locate parking structure service and storage functions away from the street edge and generally not visible from the street or sidewalks.

16. Architectural Style

Objectives

- To improve the architectural design of commercial buildings in the business district.
- To provide architecture that fits into the context of the adjacent uses surrounding the business district.

Discussion

As there is no single predominate architectural style in the Totem Lake Neighborhood, the guidelines contained in this document provide flexibility on the chosen styles (provided the architectural style, human scale, building details, and building materials and color standards in KZC Chapter 92 and these guidelines are met).

17. Architectural Scale

Objectives

- To encourage an architectural scale of development that is compatible with the vision for the districts within the Totem Lake Neighborhood.
- To implement the planning concepts for the distinct design districts within the Totem Lake Neighborhood.
- To add visual interest to buildings.

Discussion

The guidelines in this section describe a variety of techniques to give a comfortable human scale by providing building elements that help individuals relate to the building. “Architectural scale” means the size of a building relative to the buildings or elements around it. When the buildings in a neighborhood are about the same size and proportion, we say they are “in scale.” As both the vision and development regulations for the Totem Lake Neighborhood provide for much larger buildings than currently exist, special care must be taken to design buildings so they do not overpower the others. The exception to this rule is an important civic or cultural building that has a prominent role in the community.

Guidelines

A combination of techniques is desirable to reduce the architectural scale of buildings. Specifically, these techniques are encouraged at intervals of no more than 70 feet for non-residential uses and 30 feet for residential uses. Office buildings are provided with greater flexibility. Alternatives will be considered provided they meet the objectives of the guidelines.



Figure 35. Fenestration and vertical modulation techniques help to reduce the architectural scale of this office building

- a. Incorporate fenestration techniques that indicate the scale of the building. For example, the size, location, and number of windows in an urban setting create a sense of interest that relies on a subtle mixture of correct ratios, proportions, and patterns. This is particularly important on upper floors, where windows should be divided into units no larger than 35 square feet, with each window unit separated by a visible mullion or other element at least 6 inches wide. “Ribbon windows” (continuous horizontal bands of glass) or “window walls” (glass over the entire surface) do little to indicate the scale of the building and are thus discouraged, except in special circumstances where they serve as an accent element.

Patterns of fenestration should also vary depending on whether the street is pedestrian- or automobile-oriented. A window pattern that is interesting from a car may be monotonous to a slow-moving pedestrian; likewise, a window pattern that is interesting to a pedestrian may seem chaotic from a fast-moving car. Thus, pedestrian oriented fenestration should allow for more complex arrangements and irregularity while automobile-oriented fenestration should have more gradual changes in pattern and larger and simpler window types. An optimum design goal would allow for varied treatment of window detailing with unifying features such as 18” to 24” sills, vertical modulation in structure, varied setbacks in elevation, and more highly ornamented upper-story windows.

- b. Encourage vertical modulation on multi-story buildings to add variety and to make large buildings appear to be an aggregation of smaller buildings. Vertical modulation may be particularly effective for tall buildings adjacent to a street, plaza, or residential area to provide compatible architectural scale and to minimize shade and shadow impacts. Vertical modulation is well-suited for residential development and sites with steep topography.

- c. Encourage a variety of horizontal building modulation techniques to reduce the architectural scale of the building and add visual interest. Horizontal building modulation is the horizontal articulation or division of an imposing building façade through setbacks, awnings, balconies, roof decks, eaves, and banding of contrasting materials. Elevations that are modulated with horizontal elements appear less massive than those with sheer, flat surfaces. Specifically:

- For single purpose retail buildings, use horizontal building modulation with roofline modulation and a change in building materials, as necessary to meet objectives of the guidelines from all perceived distances. This is particularly important for large scale retail buildings (over 40,000 square feet) or multi-tenant retail buildings placed adjacent to a parking lot where they can be viewed from relatively great distances.
 - Provide horizontal building modulation for residential uses based on individual unit size. Horizontal modulation is most effective when combined with roofline modulation and changes in color and/or building materials. The depth and width of the modulation should be sufficient to meet the objectives of the guidelines. Avoid repetitive modulation techniques, since they may not be effective when viewed from a distance. Larger residential buildings will require greater horizontal modulation techniques to provide appropriate architectural scale.
- d. Office buildings: Use design techniques to break up long continuous walls. A combination of horizontal building modulation, change in fenestration, and/or change in building materials should be used to accomplish this.



Figure 36. A variety of techniques should be used for multi-tenant retail buildings to emphasize individual storefronts

- e. Encourage a variety of roofline modulation techniques. This can include hipped or gabled rooflines and modulated flat rooflines. As a general rule, the larger the building or unbroken roofline, the bigger the modulation should be. In determining the appropriate roof type and amount of modulation, consider at what distance the building can be viewed. For example, a large commercial building adjacent to a parking lot is capable of being viewed from a relatively large distance. Consequently the roofline modulation techniques must be sufficient to provide an appropriate architectural scale that provides visual interest.

18. Human Scale

Objectives

- To encourage the use of building components that relate to the size of the human body
- To add visual interest to buildings.

Discussion

The term “human scale” is generally used to indicate a building’s size relative to a person, but the actual size of a building or room is often not as important as its perceived size. A variety of design techniques may be used to give a space or structure the desired effect; for example, to make a room either more intimate or spacious, or a building either more or less imposing.

Special elements in a building facade create a distinct character in an urban context. A bay window suggests housing, while an arcade suggests a public walkway with retail frontage. Each element must be designed for an appropriate urban setting and for public or private use. A building should incorporate special features that enhance its character and surroundings. Such features give a building a better defined “human scale.”

Guidelines

- a. Encourage a combination of architectural building elements that lend the building a human scale. Examples include arcades, balconies, bay windows, roof decks, trellises, landscaping, awnings, cornices, friezes, art concepts, and courtyards. Window fenestration techniques described in Section 17 can also be effective in giving humans clues as the size of the building. Consider the distances from which buildings can be viewed (from the sidewalk, street, parking lot, open space, etc.).

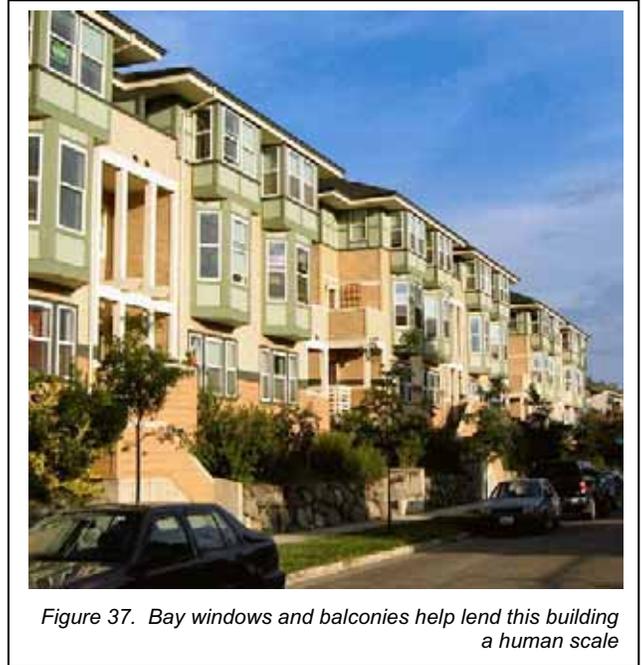


Figure 37. Bay windows and balconies help lend this building a human scale

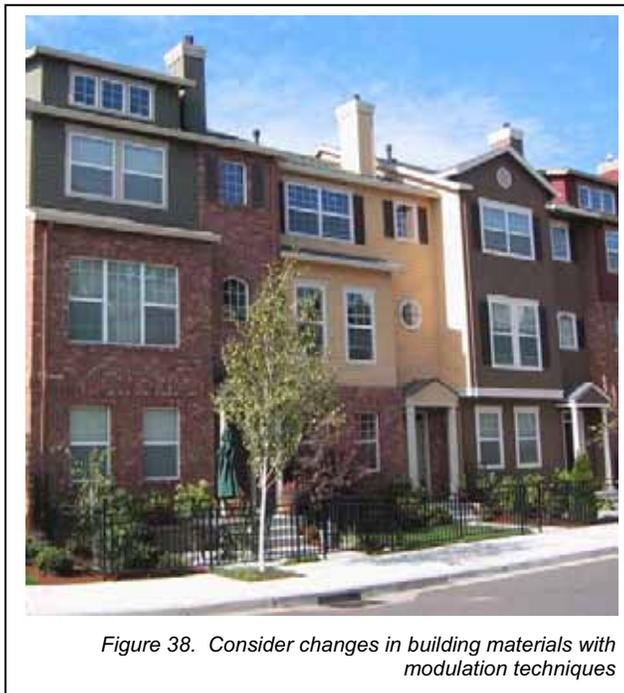
19. Building Details and Materials

Objectives

- To use building and site design details that add visual interest to buildings/sites at a pedestrian scale.
- To use a variety of quality building materials such as brick, stone, glass, timber, and metal, which are appropriate to the Pacific Northwest climate, and complementary to the desired visual character of the district.

Guidelines

- a. Encourage the integration of ornament and applied art with the structures and the site environment. For example, significant architectural features should not be hidden, nor should the urban context be overshadowed. Emphasis should be placed on highlighting building features such as doors, windows, eaves, and on materials such as wood siding and ornamental masonry. Ornament may take the form of traditional or contemporary elements. Original artwork or hand-crafted details should be considered in special areas. Ornament and applied art can be used to emphasize the edges and transition between public and private space, and between walls to ground, roof to sky, and architectural features to adjacent elements. Ornament may consist of raised surfaces, painted surfaces, ornamental or textured banding, changing of materials, or lighting.
- b. Use a variety of quality building materials such as brick, stone, timber, and metal, to add visual interest to the buildings and reduce their perceived scale. Masonry or other durable materials should be used near the ground level (first 2 feet above sidewalk or ground level).



20. Signs

Objectives

- To encourage the use of creative, well-crafted signs that contribute to the character of the district.

Discussion

Kirkland's Zoning Code regulates signs throughout the city in order to create a high-quality urban environment. Automobile-oriented signs typically found on commercial strips can be overpowering and obtrusive. Pedestrian signs are smaller and closer to viewers; thus, creative, well-crafted signs are more cost effective than large signs mounted high on poles. A balance between the needs of a high traffic corridor and pedestrians should be considered in the design of signs. Signs should be an integral part of a building's façade or act as a center identification for the passing motorist to a commercial center. The location, architectural style, and mounting of signs should conform to a building's architecture and not cover up or conflict with its prominent architectural features. A sign's design and mounting should be appropriate for the setting.

Guidelines

- a. Provide pedestrian oriented signs on all commercial facades where adjacent to a sidewalk or walkway. This includes signs located within 15' of the ground plane, such as "blade" signs which hang below canopies. Small signs located on canopies or awnings are also effective along building facades at the street. Signs with quality graphics and a high level of craftsmanship are important in attracting customers. Sculpted signs and signs that incorporate artwork add interest.
- b. External lighting is preferred. If internal lit cabinet signs are used, darker background with lighter lettering is more aesthetically pleasing. Neon signs are appropriate when integrated with the building's architecture.
- c. Ground-mounted signs should feature a substantial base and be integrated with the landscaping and other site features.
- d. Mounting supports should reflect the materials and design character of the building or site elements or both. Too much variety, too much uniformity though unified by common design elements, signs can still express the individual character of businesses.
- e. Master-planned, larger commercial centers are encouraged to combine signage for the whole complex that complements the architectural design of the center and oriented to automobile traffic.

21. Service Areas

Objectives

- To provide essential service areas without adversely impacting the quality of development.
- To locate and design site service and storage areas to promote ease of use, safety, and visual cohesion.

Guidelines

- a. Locate and design service and storage areas to minimize impacts on the pedestrian environment and adjacent uses. Service elements should generally be concentrated and located where they are accessible to service vehicles and convenient for tenant use.
- b. The design of service enclosures should be compatible with the design of adjacent buildings. This may be accomplished by the use of similar building materials, details, and architectural styles. Such enclosures should be made of masonry, ornamental metal, heavy wood timber, or other durable materials.
- c. Roof-mounted mechanical equipment should be located so as not to be visible from the street, public open space, parking areas, or from the ground level of adjacent properties. Screening features should blend with the architectural character of the building. Equipment screening and preferred location should be included in the early design of a building.

22. Visual Quality of Landscapes

Objectives

- To enhance the visual quality of the urban environment.

Discussion

The relationship between landscaping and architecture is symbiotic; plant materials add to a building's richness, while the building points to the architectural qualities of the landscaping. Foliage can soften the hard edges and improve the visual quality of the urban environment. Landscaping treatment in the urban environment can be categorized as a pedestrian/auto, pedestrian, or building landscape.

The pedestrian/auto oriented landscape applies to where the pedestrian and auto are in close proximity. Raised planting strips can be used to protect the pedestrian from high-speed and high-volume traffic. Street trees help create a hospitable environment for both the pedestrian and the driver by reducing scale, providing shade and seasonal variety, and mitigating noise impacts.

The pedestrian landscape offers variety at the ground level through the use of shrubs, ground cover, and trees. Pedestrian circulation, complete with entry and resting points, should be emphasized. If used effectively, plant materials can give the pedestrian visual cues for moving through the urban environment. Plant materials that provide variety in texture, color, fragrance, and shape are especially desirable.

The Building Landscape. Landscaping around urban buildings, particularly buildings with blank walls, can reduce scale and add diversity through pattern, color, and form.

Examples of how landscaping is used to soften and enhance the visual quality of the urban environment include:

- Dense screening of parking lots;
- Tall cylindrical trees to mark an entry;
- Continuous street tree plantings to protect pedestrians;
- Several clusters of dense trees along long building facades;
- Cluster plantings at focal points;
- Parking with trees and shrubs planted internally as well as on the perimeter.

Guidelines

- Consider the purpose and context of the proposed landscaping. The pedestrian/auto oriented landscape requires strong plantings of a structural nature to act as buffers or screens. The pedestrian landscape should emphasize the subtle characteristics of the plant materials. The building landscape should use landscaping that complements the building's favorable qualities and screens its faults while not blocking views of the business or signage.

Other considerations:

- Encourage a colorful mix of drought tolerant and low maintenance trees, shrubs and perennials. Except in special circumstances, ivy and grass lawn should be avoided.
- Take advantage of on-site topography to hide parking and enhance views.
- Use wooded slopes as a natural site amenity and to screen unwanted views, where applicable.

23. Territorial Views

Objectives

- To encourage development to take advantage of views, while minimizing impacts to public views.
- To configure buildings and site features to enhance views from surrounding properties.

Guideline

- a. Encourage rooflines to roughly follow the slope of the existing terrain. Parking garages should be terraced into slopes to minimize building bulk, wherever possible. Buildings are encouraged to step down hillsides.

Chapter 3.30 DESIGN REVIEW BOARD

Sections:

3.30.010 Membership—Appointment—Compensation—Removal.

3.30.020 Qualifications.

3.30.030 Powers and duties.

3.30.040 Design guidelines adopted by reference.

3.30.050 Conflict of interest.

3.30.010 Membership—Appointment—Compensation—Removal.

The design review board shall be composed of seven appointed members. In addition, the director of planning and community development shall sit on the design review board (“DRB”) as a nonvoting member for purposes of advising the board on regulatory and urban design issues. Members shall be appointed by a majority vote of the city council, without regard to political affiliation. The members of the DRB shall serve without compensation. Each member shall be appointed to a four-year term; provided, that as to the two positions added in 2003, one new member’s initial term shall expire March 31, 2005, and the other new member’s initial term shall expire March 31, 2007. Any vacancy shall be filled for the remainder of the unexpired term of the vacant position. When a member misses three or more consecutive meetings not excused by a majority vote of the DRB, the DRB will consider recommending removal of that member. The board shall recommend removal if the absences have negatively affected the board’s abilities to perform its duties. The recommendation will be forwarded to city council. Members finding themselves unable to attend regular meetings are expected to tender their resignations. A member may be removed by a majority vote of the city council. (Ord. 3901 § 1, 2003; Ord. 3683A § 1 (part), 1999)

3.30.020 Qualifications.

Members of the design review board shall include design professionals and building/construction experts, and residents of Kirkland capable of reading and understanding architectural plans and knowledgeable in matters of building and design. The board shall at all times have a majority composition of professionals from architecture, landscape architecture, urban design/planning, or similar disciplines. In selecting members, professionals who are residents and/or whose place of business is within Kirkland will be preferred. (Ord. 3683A § 1 (part), 1999)

3.30.030 Powers and duties.

The design review board shall have the responsibilities designated in the zoning code. In addition, the design review board shall perform such advisory functions related to design issues as designated by the city council. (Ord. 3683A § 1 (part), 1999)

3.30.040 Design guidelines adopted by reference.

The Design Review Board in combination with the authority set forth in Chapter 142 of the Zoning Code shall use the following design guidelines documents to review development permits:

- a. The document entitled “Design Guidelines for Pedestrian Oriented Business Districts” bearing the signature of the mayor and the director of the department of planning and community development dated August 3, 2004, is adopted by reference as though fully set forth herein. The City Council shall consult with the Planning Commission

prior to amending this document (Ord. 3957 § 1, 2004: Ord. 3932 § 1, 2004: Ord. 3890 § 1, 2003: Ord. 3683A § 1 (part), 1999)

- b. The document entitled "Design Guidelines for the Rose Hill Business District bearing the signature of the mayor and the director of the department of planning and community development dated January 3, 2006, is adopted by reference as though fully set forth herein. The City Council shall consult with the Planning Commission prior to amending this document.
- c. The document entitled "Design Guidelines for the Totem Lake Neighborhood" bearing the signature of the mayor and the director of the department of planning and community development dated June 6, 2006, is adopted by reference as though fully set forth herein. The City Council shall consult with the Planning Commission prior to amending this document.